

21 - 25 The Avenue

BALACLAVA

VICTORIA 3183

PROPOSED NEW RESIDENTIAL DEVELOPMENT

TOWN PLANNING DRAWINGS



Amnon Weber Architects Pty Ltd  
 Suite 110, 181 St Kilda Road  
 St Kilda Victoria 3182  
 ABN: 35 613 308 875  
 P: 03 9534 2254  
 E: amnon@weberarchitects.com

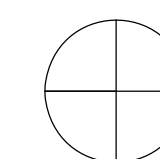
Rev	Date	Description
D	1-12-22	DELETION OF ENTRY CANOPY
C	14-11-22	GARDEN AREA
B	7-10-22	RESPONSE TO COUNCILS RFI
A	26-5-22	RESPONSE TO COUNCILS RFI

Rev	Date	Description

THESE ARE THE DRAWINGS REFERRED TO IN THE CONTRACT

PROPRIETOR: ..... WITNESS:.....

BUILDER: ..... DATED:.....



**PROJECT:** PROPOSED MULTI RES DEVELOPMENT  
 21 - 25 THE AVENUE  
 BALACLAVA

DRAWINGS ARE NOT FOR CONSTRUCTION UNLESS THEY HAVE BEEN STAMPED BY THE APPROVED BUILDING SURVEYOR TAKING NOTES OF ANY CONDITIONS OR REQUIREMENTS SUBJECT TO ARCHITECTS WRITTEN CONSENT. ALL CONTRACTORS MUST CHECK ALL DIMENSIONS & LEVELS & CONDITIONS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS. DO NOT SCALE DRAWINGS TO BE USED IN CONJUNCTION WITH THE SPECIFICATIONS & DOCUMENTATION AND OTHER CONSULTANTS DRAWINGS & INFORMATION. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN WRITING. ALL MATERIALS & WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATING CODE, THE CURRENT NATIONAL CONSTRUCTION CODE (NCC) AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN. ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE NCC. WHERE AN ALTERNATIVE SOLUTION IS PROPOSED, THEN PRIOR TO IMPLEMENTATION OR INSTALLATION IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AS MEETING THE PERFORMANCE REQUIREMENTS OF THE NCC.

Scale	
Drawn by	JG Checked by AW
Project No.	
Drawing Title	COVER SHEET
Drawing No.	TP01 Revision D

TOWN PLANNING SUBMISSION

PLOT DATE: 1 Dec 2022



# 21 - 25 The Avenue

# BALACLAVA

# VICTORIA 3183

## PROPOSED NEW RESIDENTIAL DEVELOPMENT

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TP04	DESIGN RESPONSE PLAN	TP14	SHADOW PLAN 11am & 12noon
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TP08	SECOND FLOOR PLAN	TP18	APARTMENT DEVELOPMENT STANDARD COMPLIANCE - SHEET 2
TP09	ROOF FLOOR PLAN	TP19	APARTMENT DEVELOPMENT STANDARD COMPLIANCE - SHEET 3
TP10	NORTH, SOUTH & STREETScape ELEVATION	TP20	GARDEN AREA PLAN

APARTMENT SCHEDULE			
APARTMENT No.	No. OF BEDROOMS	AREA	POS/BALCONY
G-01	2	82m <sup>2</sup>	33m <sup>2</sup>
G-02	2	82m <sup>2</sup>	33m <sup>2</sup>
G-03	2	72m <sup>2</sup>	25m <sup>2</sup>
G-04	2	70m <sup>2</sup>	40m <sup>2</sup>
G-05	2	75m <sup>2</sup>	49m <sup>2</sup>
G-06	2	80m <sup>2</sup>	58m <sup>2</sup>
G-07	2	75m <sup>2</sup>	62m <sup>2</sup>
G-08	2	80m <sup>2</sup>	58m <sup>2</sup>
G-09	2	82m <sup>2</sup>	28m <sup>2</sup>
G-10	2	82m <sup>2</sup>	28m <sup>2</sup>
G-11	1	61m <sup>2</sup>	98m <sup>2</sup>
G-12	1	61m <sup>2</sup>	79m <sup>2</sup>
F-13	2	77m <sup>2</sup>	9.5m <sup>2</sup>
F-14	2	74m <sup>2</sup>	9.5m <sup>2</sup>
F-15	2	74m <sup>2</sup>	9.5m <sup>2</sup>
F-16	2	80m <sup>2</sup>	9.5m <sup>2</sup>
F-17	2	71m <sup>2</sup>	8m <sup>2</sup>
F-18	2	67m <sup>2</sup>	8m <sup>2</sup>
F-19	2	67m <sup>2</sup>	8m <sup>2</sup>
F-20	2	71m <sup>2</sup>	8m <sup>2</sup>
F-21	1	49m <sup>2</sup>	10.5m <sup>2</sup>
F-22	2	77m <sup>2</sup>	8m <sup>2</sup>
F-23	2	77m <sup>2</sup>	8m <sup>2</sup>
F-24	1	51m <sup>2</sup>	10.5m <sup>2</sup>
S-25	2	92m <sup>2</sup>	26m <sup>2</sup>
S-26	1	54m <sup>2</sup>	14m <sup>2</sup>
S-27	2	92m <sup>2</sup>	26m <sup>2</sup>
S-28	2	71m <sup>2</sup>	8m <sup>2</sup>
S-29	2	67m <sup>2</sup>	8m <sup>2</sup>
S-30	2	71m <sup>2</sup>	8m <sup>2</sup>
S-31	2	67m <sup>2</sup>	8m <sup>2</sup>
S-32	2	79m <sup>2</sup>	24m <sup>2</sup>
S-33	2	79m <sup>2</sup>	24m <sup>2</sup>
S-34	1	52m <sup>2</sup>	8m <sup>2</sup>



SITE LOCATION

### DEVELOPMENT SUMMARY

#### EXISTING CONDITIONS:

- 21 THE AVENUE
  - SITE AREA: 378m<sup>2</sup>
  - SINGLE STOREY DWELLING
  - PITCHED CORRUGATED ROOF
- 23 THE AVENUE
  - SITE AREA: 692m<sup>2</sup>
  - SINGLE STOREY DWELLING
  - PITCHED TILED ROOF
- 25 THE AVENUE
  - SITE AREA: 692m<sup>2</sup>
  - SINGLE STOREY DWELLING
  - PITCHED CORRUGATED ROOF

#### NEW DEVELOPMENT:

- 3 STOREY APARTMENT BUILDING WITH BASEMENT LEVEL
- SITE AREA: 1762m<sup>2</sup>
- BASEMENT AREA: 1348.26m<sup>2</sup>
- 34 APARTMENTS
- 34 RESIDENTIAL CAR SPACES
- PROPOSED SITE COVERAGE: 1042m<sup>2</sup> - 60%
- GARDEN AREA: 616.12m<sup>2</sup> - 35.0%
- PERMEABLE AREA: 354.57m<sup>2</sup> - 20.1%

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### TOWN PLANNING SUBMISSION

PLOT DATE: 1 Dec 2022

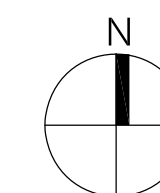
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**PROJECT:** PROPOSED MULTI RES DEVELOPMENT  
 21 - 25 THE AVENUE  
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Scale 1:500

Drawn by JG Checked by AW

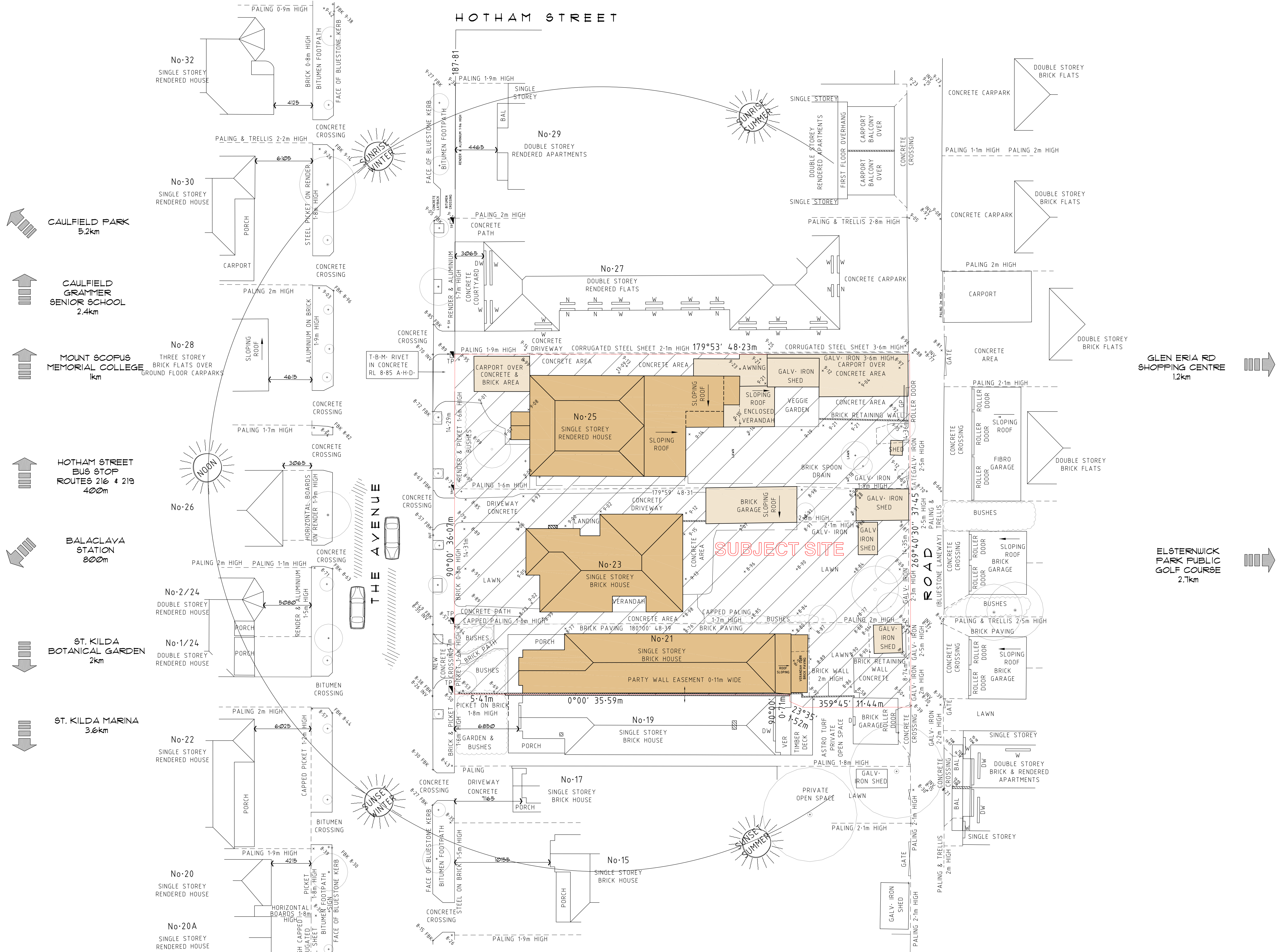
Project No.

Drawing Title, DEVELOPMENT SUMMARY

Drawing No. TP02

Revision D





- CAULFIELD PARK 5.2km
- CAULFIELD GRAMMER SENIOR SCHOOL 2.4km
- MOUNT SCOPUS MEMORIAL COLLEGE 1km
- HOTHAM STREET BUS STOP ROUTES 216 & 219 400m
- BALACLAVA STATION 800m
- ST. KILDA BOTANICAL GARDEN 2km
- ST. KILDA MARINA 3.6km

- GLEN ERIA RD SHOPPING CENTRE 1.2km
- ELSTERNWICK PARK PUBLIC GOLF COURSE 2.7km

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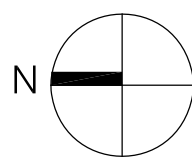
PLOT DATE: 14 Nov 2022

Rev	Date	Description
C	14-11-22	GARDEN AREA
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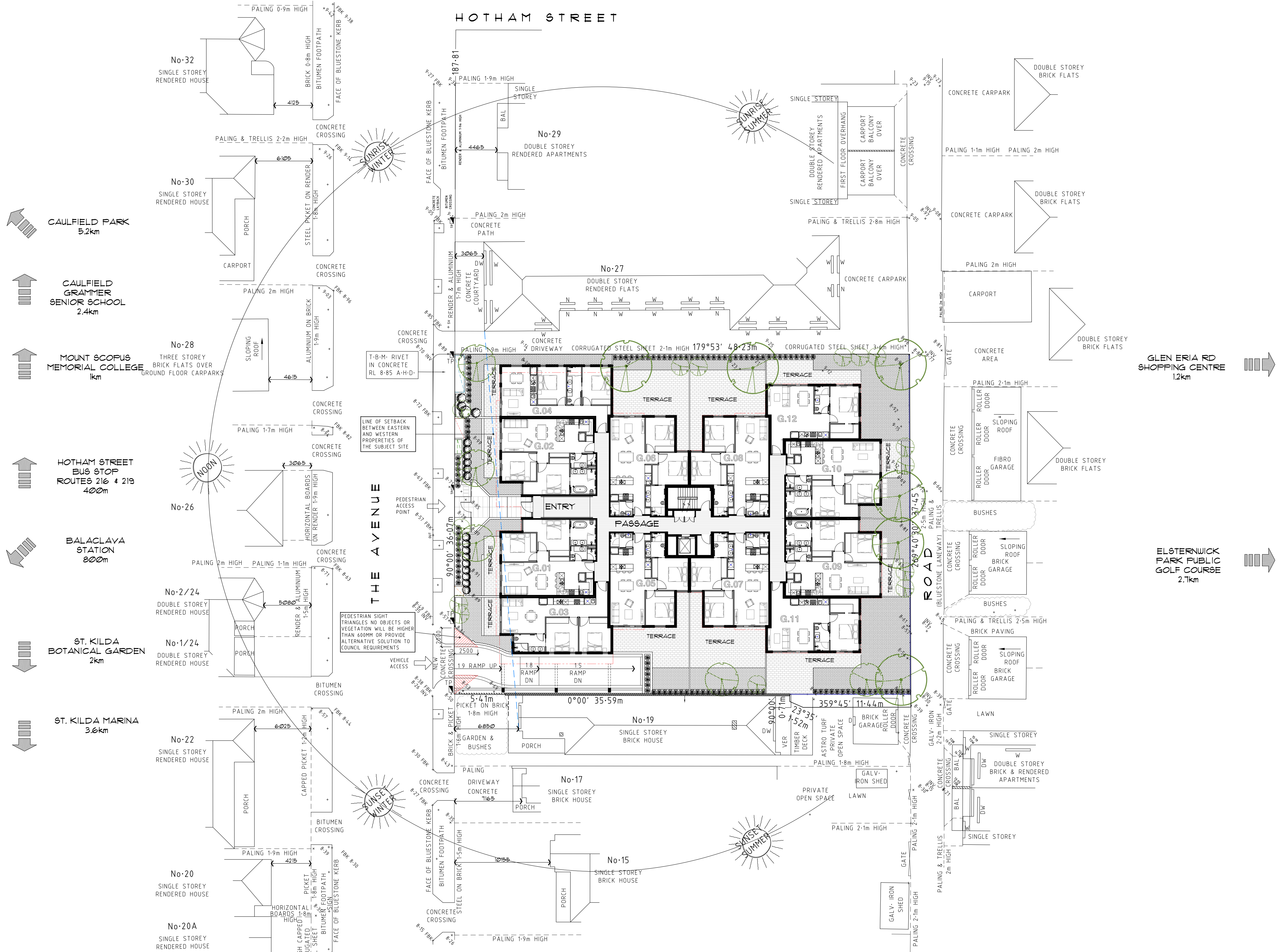


**PROJECT: PROPOSED MULTI RES DEVELOPMENT  
 21 - 25 THE AVENUE  
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Scale	1:200
Drawn by	JG
Checked by	AW
Project No.	
Drawing Title	SITE DESCRIPTION PLAN
Drawing No.	TP03
Revision	C





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 ABN: 35 613 308 875  
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**TOWN PLANNING SUBMISSION**

PLOT DATE: 1 Dec 2022

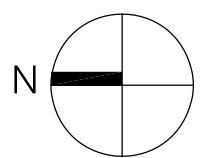
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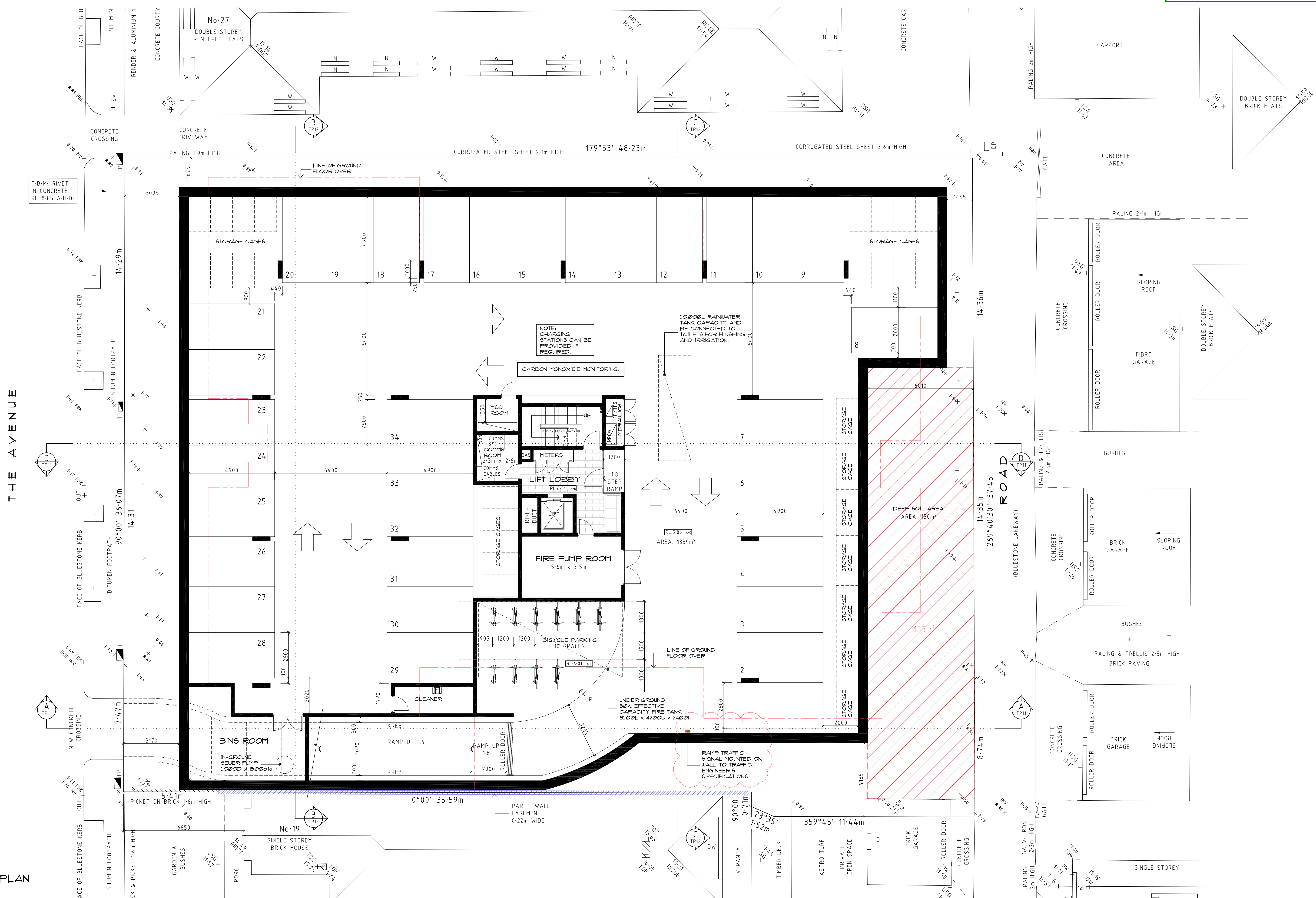
Drawn by: JG Checked by: AW

Project No.:

Drawing Title: DESIGN RESPONSE PLAN

Drawing No. TP04 Revision: D





**BASEMENT PLAN**

Amnon Weber Architects Pty Ltd  
 Suite 110, 181 St Kilda Road  
 St Kilda Victoria 3182  
 ABN: 35 613 308 875  
 P: 03 9534 2254  
 E: amnon@weberarchitects.com

**TOWN PLANNING SUBMISSION**

PLOT DATE: 24 Jan 2023



Document Set ID: 6911044  
 Version: 1, Version Date: 24/01/2023

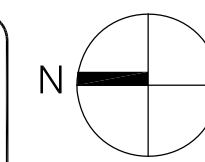
Rev	Date	Description
D	24-1-23	RAMP TRAFFIC SIGNALS
C	14-11-22	GARDEN AREA
B	7-10-22	RESPONSE TO COUNCILS RFI
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Scale: 1:100

Drawn by: JG Checked by: AW

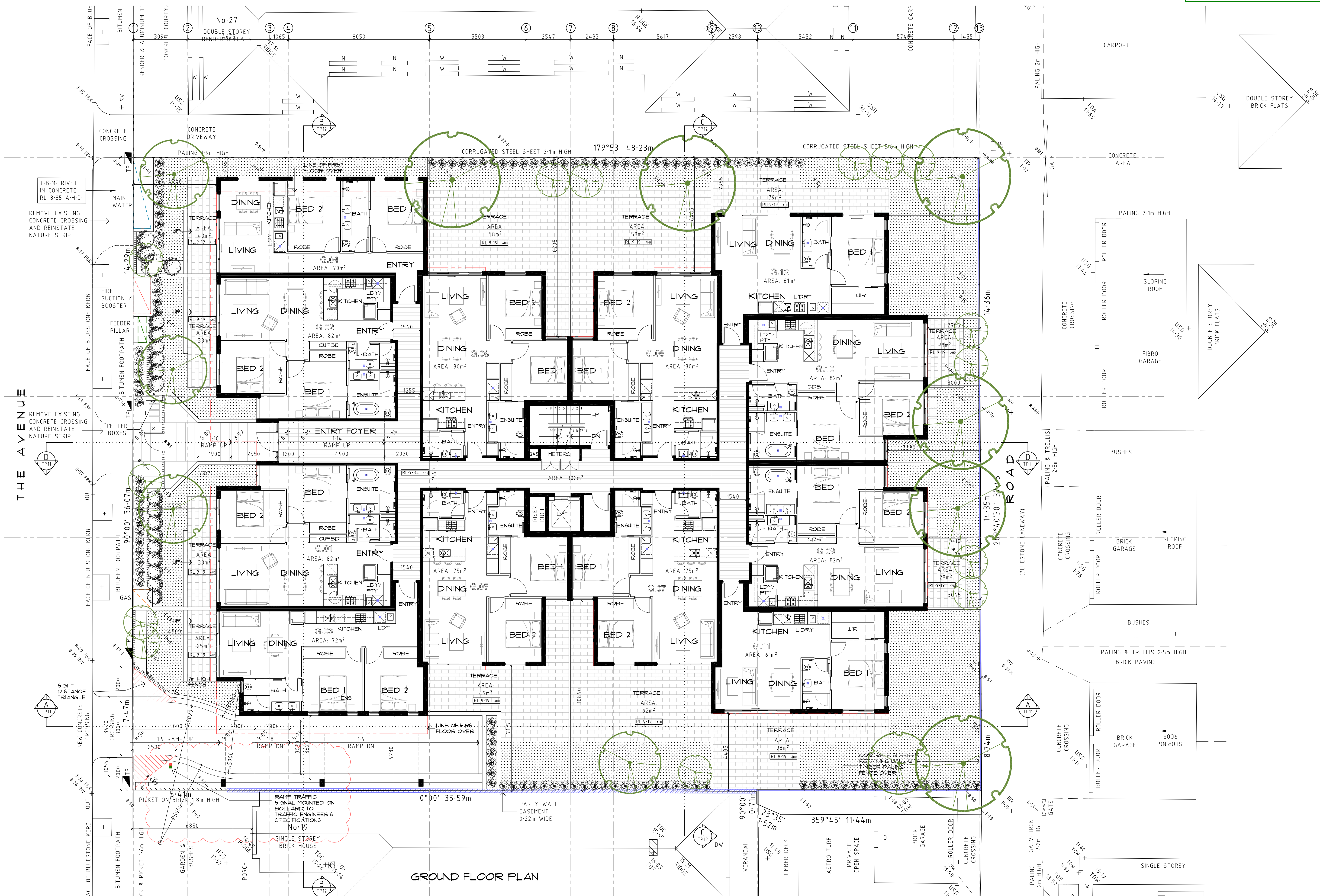
Project No.:

Drawing Title: PROPOSED BASEMENT PLAN

Drawing No. TP05

Revision: D





GROUND FLOOR PLAN

Ammon Weber Architects Pty Ltd  
 Suite 110, 181 St Kilda Road  
 St Kilda Victoria 3182  
 ABN: 35 613 308 875  
 P: 03 9534 2254  
 E: ammon@weberarchitects.com

**TOWN PLANNING SUBMISSION**

PLOT DATE: 24 Jan 2023

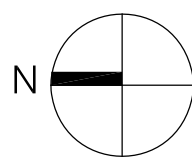
Rev	Date	Description
F	24-1-23	RAMP TRAFFIC SIGNALS
E	12-1-23	AMENDMENT TO NEW CONCRETE CROSSING
D	1-12-22	DELETION OF ENTRY CANDY
B	7-10-22	RESPONSE TO COUNCILS RFI
A	26-5-22	RESPONSE TO COUNCILS RFI

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Scale: 1:100  
 Drawn by: JG  
 Checked by: AW  
 Project No.:  
 Drawing Title: PROPOSED GROUND FLOOR PLAN  
 Drawing No.: TP06  
 Revision: F



RWT WILL BE CONNECTED TO TOILETS FOR FLUSHING AND FOR LANDSCAPE IRRIGATION

THE AVENUE

ROAD

FIRST FLOOR PLAN

Amnon Weber Architects Pty Ltd  
 Suite 110, 181 St Kilda Road  
 St Kilda Victoria 3182  
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TOWN PLANNING SUBMISSION

PLOT DATE: 1 Dec 2022

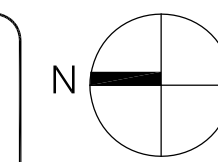
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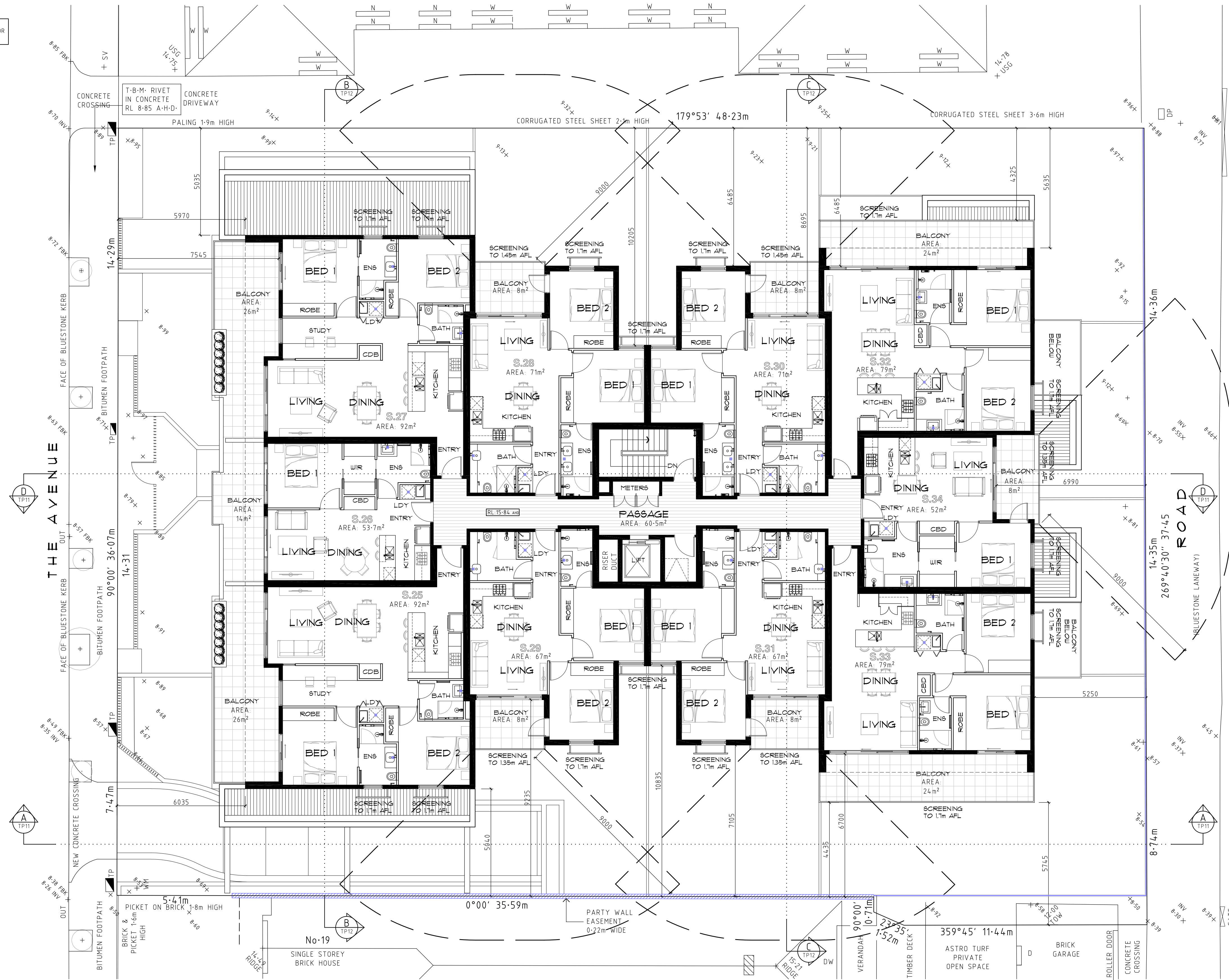
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Scale	1:100
Drawn by	JG
Checked by	AW
Project No.	
Drawing Title	PROPOSED FIRST FLOOR PLAN
Drawing No.	TP07
Revision	D



RWT WILL BE CONNECTED TO TOILETS FOR FLUSHING AND FOR LANDSCAPE IRRIGATION



SECOND FLOOR PLAN

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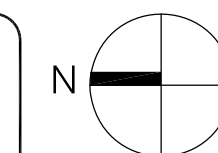
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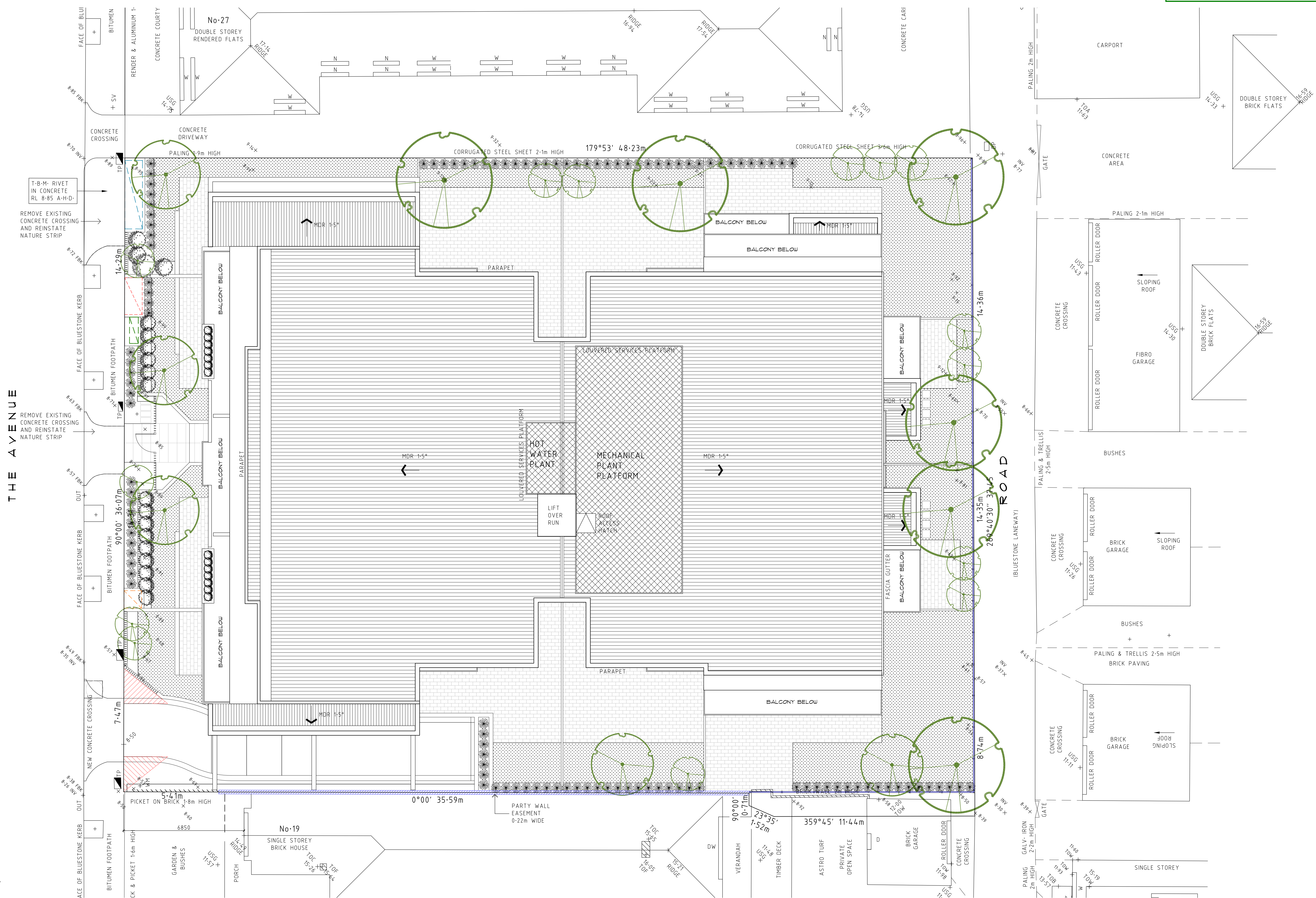
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Checked by	AW
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Drawing Title	PROPOSED SECOND FLOOR PLAN
Drawing No.	TP08
Revision	D

TOWN PLANNING SUBMISSION

PLOT DATE: 1 Dec 2022





ROOF PLAN

Amnon Weber Architects Pty Ltd  
 Suite 110, 181 St Kilda Road  
 St Kilda Victoria 3182  
 ABN: 35 613 308 875  
 P: 03 9534 2254  
 E: amnon@weberarchitects.com

**TOWN PLANNING SUBMISSION**

PLOT DATE: 2 Dec 2022

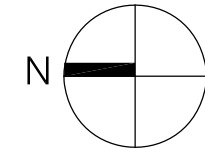
Rev	Date	Description
D	1-12-22	DELETION OF ENTRY CANOPY
C	14-11-22	GARDEN AREA
B	7-10-22	RESPONSE TO COUNCILS RFI
A	26-5-22	RESPONSE TO COUNCILS RFI

Rev	Date	Description

THESE ARE THE DRAWINGS REFERRED TO IN THE CONTRACT

PROPRIETOR: ..... WITNESS: .....

BUILDER: ..... DATED: .....



**PROJECT: PROPOSED MULTI RES DEVELOPMENT  
 21 - 25 THE AVENUE  
 BALACLAVA**

DRAWINGS ARE NOT FOR CONSTRUCTION UNLESS THEY HAVE BEEN STAMPED BY THE APPROVED BUILDING SURVEYOR TAKING NOTES OF ANY CONDITIONS OR REQUIREMENTS SUBJECT TO ARCHITECTS WRITTEN CONSENT. ALL CONTRACTORS MUST CHECK ALL DIMENSIONS & LEVELS & CONDITIONS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS. DO NOT SCALE DRAWINGS TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS & DOCUMENTATION AND OTHER CONSULTANTS DRAWINGS & INFORMATION. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN WRITING. ALL MATERIALS & WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATING CODE, THE CURRENT NATIONAL CONSTRUCTION CODE (NCC) AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN. ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE NCC, WHERE AN ALTERNATIVE SOLUTION IS PROPOSED THEN PRIOR TO INSTALLATION IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AS MEETING THE PERFORMANCE REQUIREMENTS OF THE NCC.

Scale: 1:100  
 Drawn by: JG  
 Checked by: AW  
 Project No.:  
 Drawing Title: PROPOSED ROOF PLAN  
 Drawing No.: TP09  
 Revision: D





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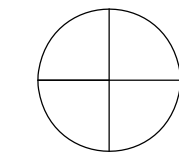
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Scale: 1:100  
 Drawn by: JG  
 Checked by: AW  
 Project No.:  
 Drawing Title: NORTH, SOUTH AND STREETScape ELEVATION  
 Drawing No.: TP10  
 Revision: D





MATERIAL SCHEDULE	
(Rd)	SELECTED FACE BRICK WORK
(Rd)	SELECTED DARK COLOUR RENDER
(Rl)	SELECTED LIGHT COLOUR RENDER
(Ac)	SELECTED STANDING SEAM CLADDING - DARK COLOUR
(B)	SELECTED METAL BALUSTRADE - DARK COLOUR
(S)	SELECTED PERFORATED SCREENING max 25% OPENING
(W)	SELECTED ALUMINIUM WINDOWS - DARK COLOUR
(F)	SELECTED METAL FENCE - DARK COLOUR
(Tb)	SELECTED TIMBER CLADDING
(Pl)	SELECTED LOUVERED SERVICES PLATFORM
(Pv)	SELECTED TILED PAVING ON POD PAVING SYSTEM

SECTION A-A

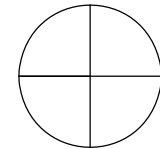
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Scale	1:100
Drawn by	JG
Checked by	AW
Project No.	
Drawing Title	EAST & WEST ELEVATIONS & SECTION A-A
Drawing No.	TP11
Revision	D

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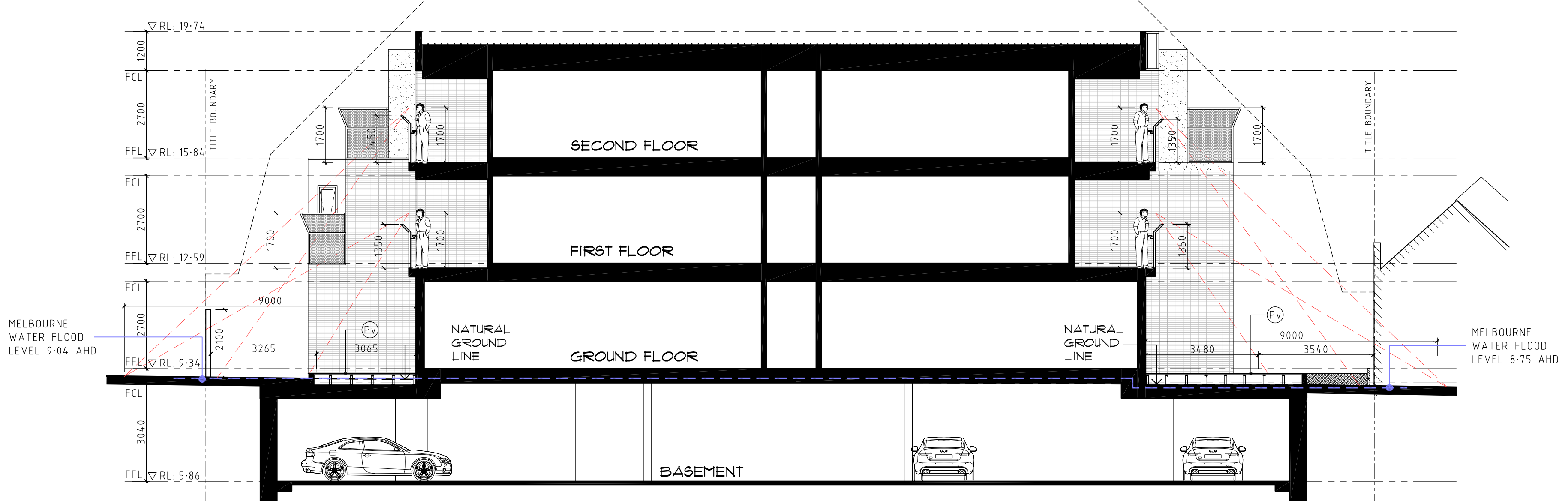
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PLOT DATE: 1 Dec 2022

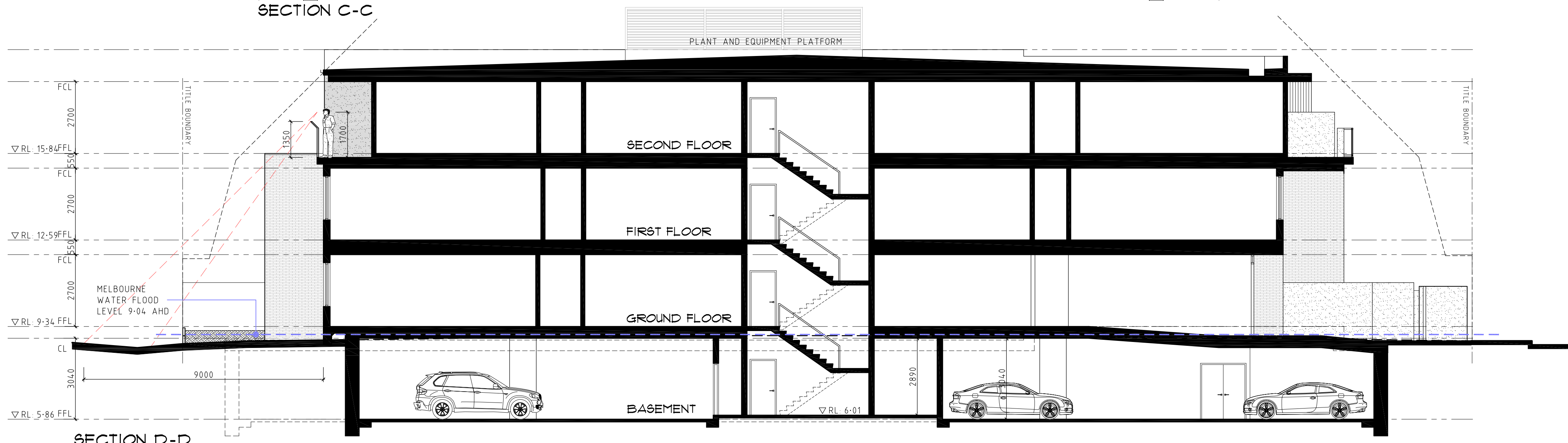




SECTION B-B



SECTION C-C



SECTION D-D

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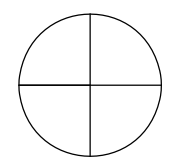
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Scale: 1:100

Drawn by: JG Checked by: AW

Project No.:

Drawing Title: SECTIONS B-B, C-C & D-D

Drawing No. TP12 Revision: D