

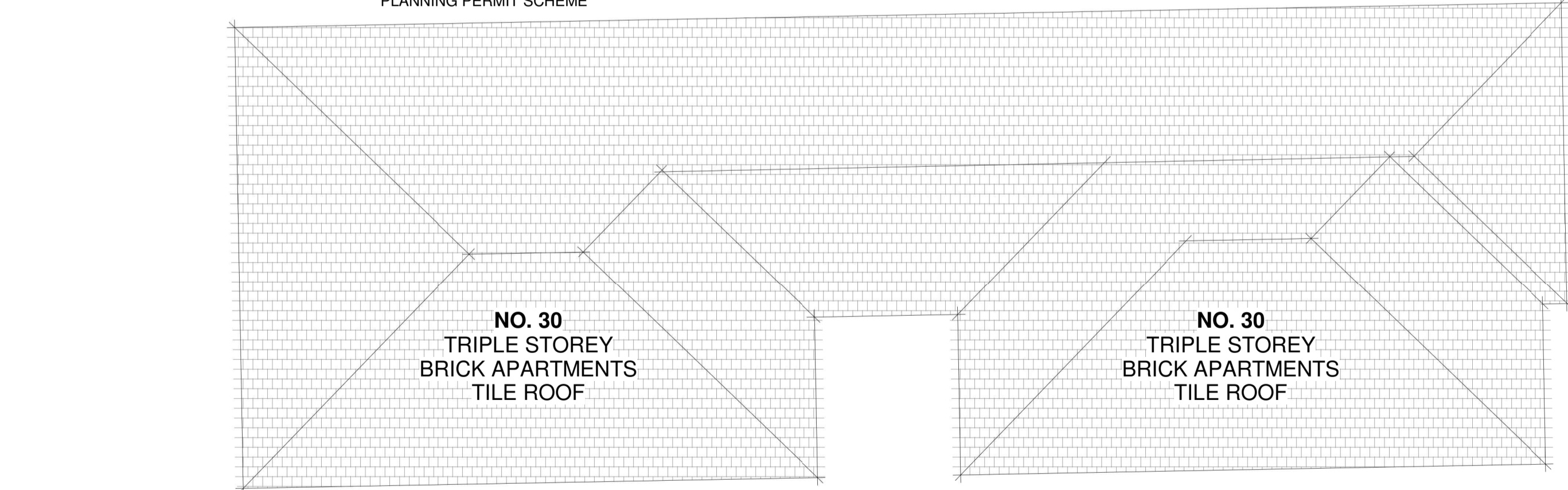
WELLINGTON STREET

FIRE RATING AND COMPARTMENTATION NOTES

- THE STRUCTURAL FIRE RESISTANCE LEVEL OF 90/90/90 TO ALL STRUCTURAL ELEMENTS UNLESS NOTED OTHERWISE.
- TYPICAL FIRE RESISTANCE LEVELS AS FOLLOWED:
 - a) STRUCTURAL FLOORS, WALLS, SHAFTS AND COLUMNS TO APARTMENT LEVELS: 90/90/90 FRL
 - b) NON-LOADBEARING CORRIDORS, SHAFTS AND WALLS BETWEEN APARTMENTS: -/60/60 FRL
 - c) EXTERNAL WALLS: LOADBEARING WALLS 90/60/30 FRL
 - d) EXTERNAL WALLS NON-LOADBEARING BETWEEN 1.5M AND 3M OF TITLE BOUNDARY: -/60/60
 - e) EXTERNAL WALLS NON-LOADBEARING WITHIN 1.5M OF TITLE BOUNDARY: -/90/90
 - f) EXTERNAL WALLS: NON-LOADBEARING GREATER THAN 3M FROM A FIRE SOURCE FEATURE - NO FRL
 - g) SWITCH ROOMS / MSB ROOM: 120/120/120 FRL
 - h) ROOF NO FRL REQUIRED.
 - i) COLUMNS AND INTERNAL WALLS DIRECTLY BELOW THE ROOF: 60/60/60 FRL PERMITTED.
 - j) LOADBEARING ELEMENTS TO BE CONSTRUCTED OF CONCRETE OR MASONRY.
 - k) BETWEEN FLOOR LEVELS: 90/90/90 FRL.
- SERVICE CUPBOARDS WITHIN CORRIDORS TO BE FIRE SEALED AT FLOORS AND PROVIDED WITH NON-COMBUSTIBLE DOORS WITH SMOKE SEALS.
- INSULATION TO BE NON COMBUSTIBLE THROUGHOUT.
- THE BUILDING MUST BE FITTED WITH AN AUTOMATIC SMOKE ALARM SYSTEM WHICH COMPLIES WITH THE BCA SPEC E2.2a.
- GROUND AND LEVEL ONE WALLS ON THE EAST BOUNDARY REQUIRE A FIRE RATING OF -/60/60 FRL.

- SPECIFIC FIRE SEPARATION WILL BE REQUIRED TO ROOMS AND AREAS OTHER THAN APARTMENT/ DWELLINGS AS FOLLOWED:

- a) WALL SEPARATING OFFICE FROM APARTMENTS AND b) OFFICE FROM COMMON ROOM : 90/90/90 FRL LOADBEARING AND -/60/60 FRL WHERE NON LOADBEARING.
- LAUNDRY, CONSULTING ROOMS, COMMON KITCHEN: 90/90/90 FRL LOADBEARING AND -/60/60 FRL WHERE NON LOADBEARING.
- CONSULT ROOM 1 AND 2, LAUNDRY AND COMMON WC OPENING ONTO CORRIDOR TO ACHIEVE A FIRE RATING OF -/60/60.
- ANY OPENINGS TO THE EAST BOUNDARY REQUIRE SPRINKLER DRENCHERS UNLESS ADDRESSED THROUGH A PERFORMANCE SOLUTION VIA FIRE ENGINEERING.
- SERVICES CUPBOARDS WITHIN CORRIDORS TO BE FIRE SEALED AT FLOORS AND PROVIDED WITH NON-COMBUSTIBLE DOORS WITH SMOKE SEALS.
- INTERNAL WALLS ARE ONLY REQUIRED TO BE NON-COMBUSTIBLE, THEY DO NOT NEED TO BE FIRE RATED UNLESS NOTED OTHERWISE.
- SINGLE OCCUPANCY UNIT (SOU) DOORS TO ACHIEVE A FIRE RATING OF -/30/30 FRL SELF CLOSING.
- SOU COMMON ROOMS ARE TO BE SEPARATED FROM THE PUBLIC CORRIDOR WITH 60/60/60 FRL.



ACOUSTIC NOTES

THE FOLLOWING TYPICAL ACOUSTIC REQUIREMENTS APPLY:

LOCATION	NOTES	SOUND INSULATION REQUIREMENTS
WALLS SEPERATING HABITABLE ROOMS		Rw + Ctr ≥ 50
WALLS SEPERATING HABITABLE ROOM AND KITCHEN OR BATHROOM	WALL MUST BE OF DISCONTINUOUS CONSTRUCTION	Rw + Ctr ≥ 50
SEPERATING HABITABLE ROOMS	IMPACT ISOLATION REQUIRED	Rw + Ctr ≥ 50 Ln,w + Cl ≤ 62
DUCT, SOIL, WASTE OR WATER SUPPLY PIPE, INCLUDING PIPES THAT IS LOCATED IN A FLOOR OR WALL CAVITY, SERVES OR PASSES THROUGH MORE THAN ONE ROOM	ADJACENT HABITABLE ROOM OR ADJACENT NON-HABITABLE ROOM	Rw + Ctr ≥ 40 OR Rw + Ctr ≥ 25
DOOR TO HABITABLE ROOM		Rw ≥ 30

NOTE: FOR WALLS REQUIRING IMPACT RESISTANCE AN AIR GAP BETWEEN LEAFS OF THE WALL CONSTRUCTION IS REQUIRED TO BE PROVIDED

NOTE: STAIRS AND RAMPS TO COMPLY WITH AS1428.1 - 2009.

TACTILE INDICATORS, HANDRAILS AND CONTRAST NOSINGS TO COMPLY WITH AS1428.1 - 2009.

AREA SCHEDULE

TOTAL SITE AREA	818.86m ²
OPEN SPACE AREA	407.76m ²
OPEN SPACE AREA (%)	49.80%
GARDEN AREA	295.76m ²
GARDEN AREA (%)	36.12%

ROOM YIELD

GROUND FLOOR	6
FIRST FLOOR	9
SECOND FLOOR	9
TOTAL: 24	

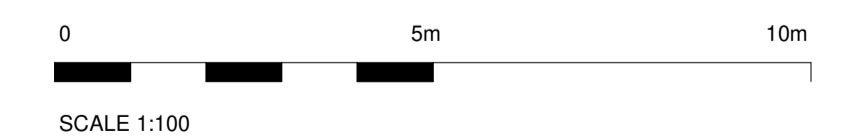
PROJECT
28 WELLINGTON STREET,
ST KILDA - COMMON GROUND

CLIENT
ST KILDA COMMUNITY HOUSING

PROJECT NO
2052

TITLE
PROPOSED GROUND FLOOR

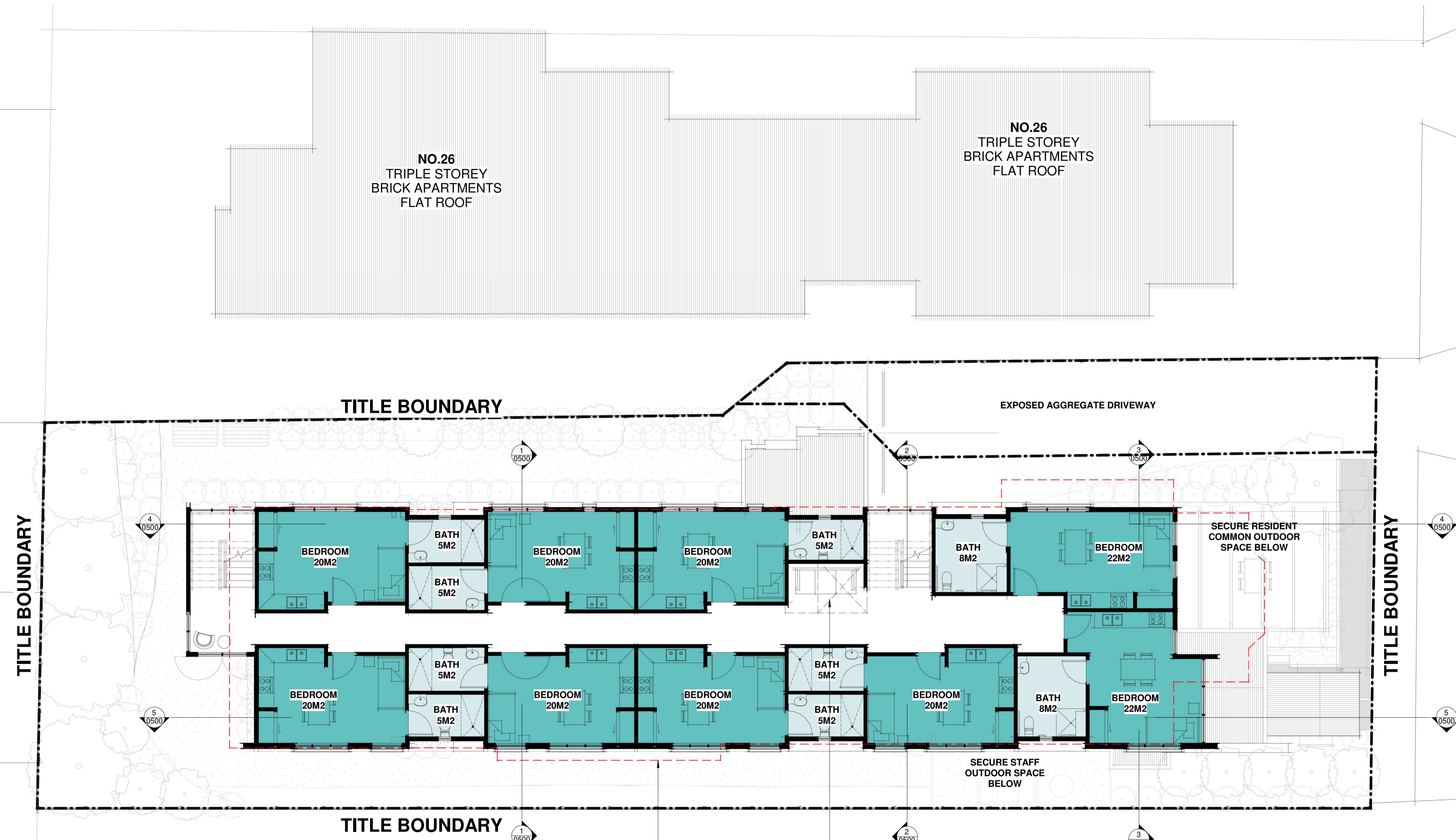
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As indicated@A1 28/07/2020 AT



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0200 **D**

ABN 19 164 899 316



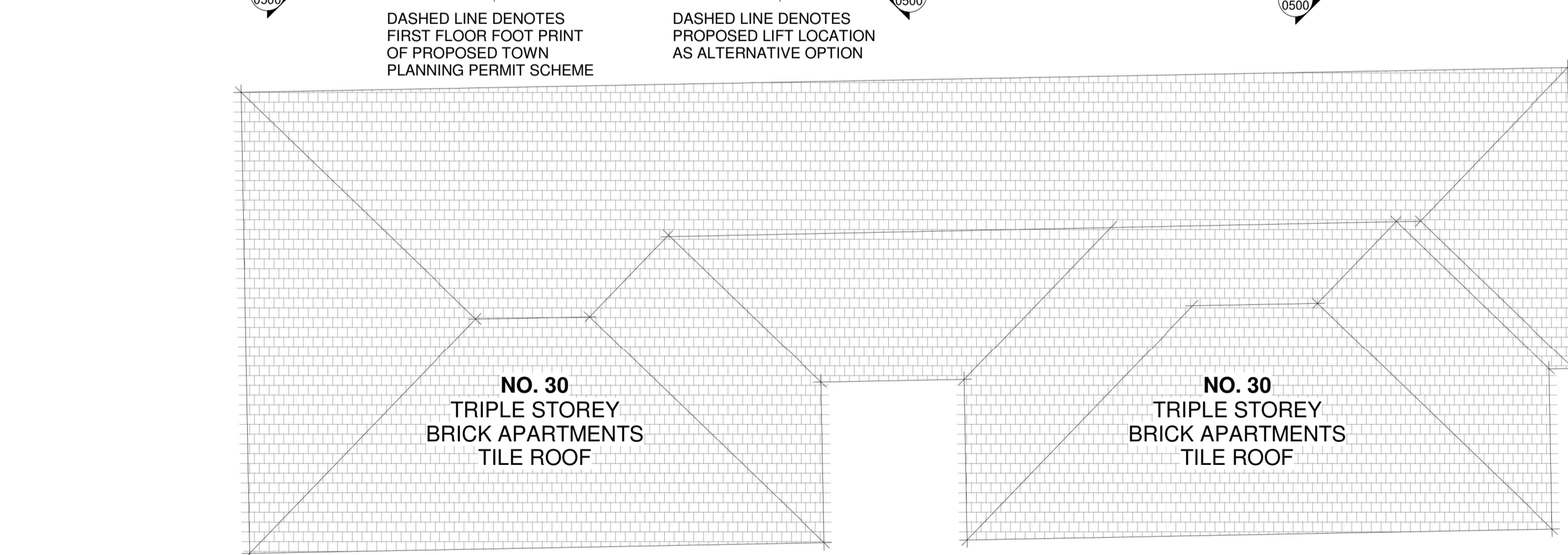
WELLINGTON STREET

FIRE RATING AND COMPARTMENTATION NOTES

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 - d) EXTERNAL WALLS NON-LOADBEARING BETWEEN 1.5M AND 3M OF TITLE BOUNDARY: -/60/60
 - e) EXTERNAL WALLS NON-LOADBEARING WITHIN 1.5M OF TITLE BOUNDARY: -/90/90
 - f) EXTERNAL WALLS: NON-LOADBEARING GREATER THAN 3M FROM A FIRE SOURCE FEATURE - NO FRL
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ACOUSTIC NOTES
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LOCATION	NOTES	SOUND INSULATION REQUIREMENTS
WALLS SEPERATING HABITABLE ROOMS		Rw + Ctr ≥ 50
WALLS SEPERATING HABITABLE ROOM AND KITCHEN OR BATHROOM	WALL MUST BE OF DISCONTINUOUS CONSTRUCTION	Rw + Ctr ≥ 50
SEPERATING HABITABLE ROOMS	IMPACT ISOLATION REQUIRED	Rw + Ctr ≥ 50 Ln,w + Cl ≤ 62
DUCT, SOIL, WASTE OR WATER SUPPLY PIPE, INCLUDING PIPES THAT IS LOCATED IN A FLOOR OR WALL CAVITY, SERVES OR PASSES THROUGH MORE THAN ONE ROOM	ADJACENT HABITABLE ROOM OR ADJACENT NON-HABITABLE ROOM	Rw + Ctr ≥ 40 OR Rw + Ctr ≥ 25
DOOR TO HABITABLE ROOM		Rw ≥ 30

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OPEN SPACE AREA (%)	49.80%
GARDEN AREA	295.76m ²
GARDEN AREA (%)	36.12%

ROOM YIELD

GROUND FLOOR	6
FIRST FLOOR	9
SECOND FLOOR	9
TOTAL: 24	

PROJECT
 28 WELLINGTON STREET,
 ST KILDA - COMMON GROUND

CLIENT
 ST KILDA COMMUNITY HOUSING

PROJECT NO
 2052

TITLE
 PROPOSED FIRST FLOOR

SCALE **DATE** **DRAWN BY**

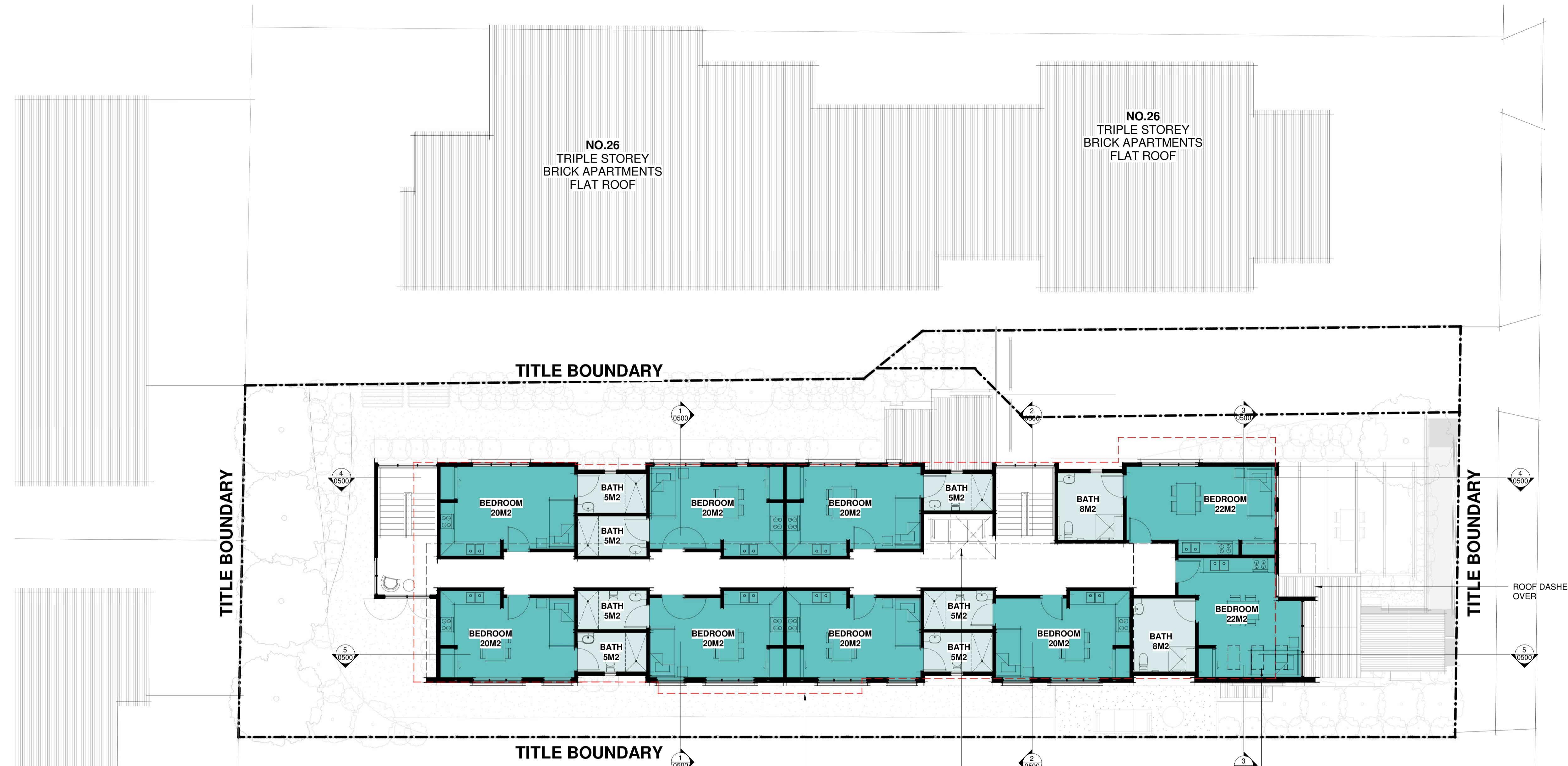
As indicated@A1 28/07/2020 AT

0 5m 10m

SCALE 1:100

SHEET NO **REVISION** **NORTH**

0201 **C**



DASHED LINE DENOTES SECOND FLOOR FOOT PRINT OF PROPOSED TOWN PLANNING PERMIT SCHEME

DASHED LINE DENOTES PROPOSED LIFT LOCATION AS ALTERNATIVE OPTION

SKYLIGHTS DASHED OVER

FIRE RATING AND COMPARTMENTATION NOTES

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ACOUSTIC NOTES

THE FOLLOWING TYPICAL ACOUSTIC REQUIREMENTS APPLY:

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DOOR TO HABITABLE ROOM		Rw ≥ 30

NOTE: FOR WALLS REQUIRING IMPACT RESISTANCE AN AIR GAP BETWEEN LEAFS OF THE WALL CONSTRUCTION IS REQUIRED TO BE PROVIDED

AREA SCHEDULE

TOTAL SITE AREA	818.86m ²
OPEN SPACE AREA	407.76m ²
OPEN SPACE AREA (%)	49.80%
GARDEN AREA	295.76m ²
GARDEN AREA (%)	36.12%

ROOM YIELD

GROUND FLOOR	6
FIRST FLOOR	9
SECOND FLOOR	9
TOTAL: 24	

PROJECT
28 WELLINGTON STREET,
ST KILDA - COMMON GROUND

CLIENT
ST KILDA COMMUNITY HOUSING

PROJECT NO
2052

TITLE
PROPOSED SECOND FLOOR

SCALE	DATE	DRAWN BY
As indicated@A1	28/07/2020	AT

0 5m 10m
SCALE 1:100

SHEET NO	REVISION	NORTH
0202	C	

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Melbourne VIC 3000

Sydney
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Sydney NSW 2000

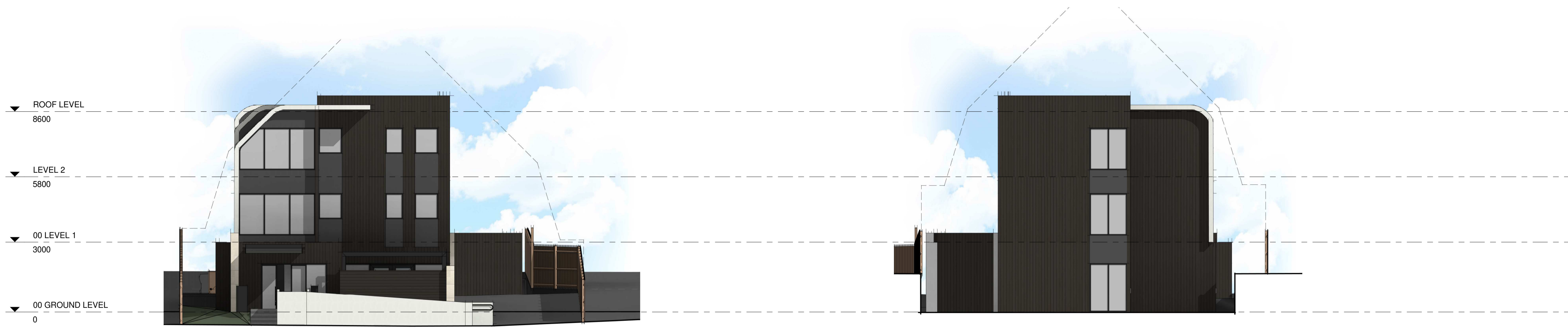
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REVISIONS

- A 24/07/2020 TO QUANTITY SURVEYOR
- B 28/07/2020 FOR REVIEW



1 **NORTH ELEVATION**
1 : 100

2 **SOUTH ELEVATION**
1 : 100



3 **EAST ELEVATION**
1 : 100



4 **WEST ELEVATION**
1 : 100

PROJECT
28 WELLINGTON STREET,
ST KILDA - COMMON GROUND

CLIENT
ST KILDA COMMUNITY HOUSING

PROJECT NO
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TITLE
PROPOSED BUILDING ELEVATIONS

SCALE	DATE	DRAWN BY
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0400 **B**

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REVISIONS

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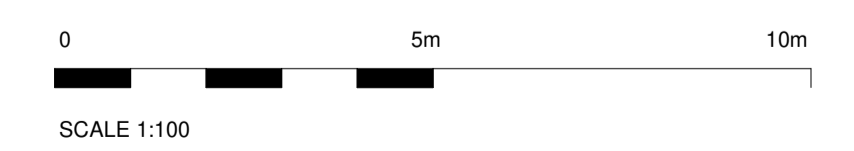
PROJECT
28 WELLINGTON STREET,
ST KILDA - COMMON GROUND

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ST KILDA COMMUNITY HOUSING

PROJECT NO
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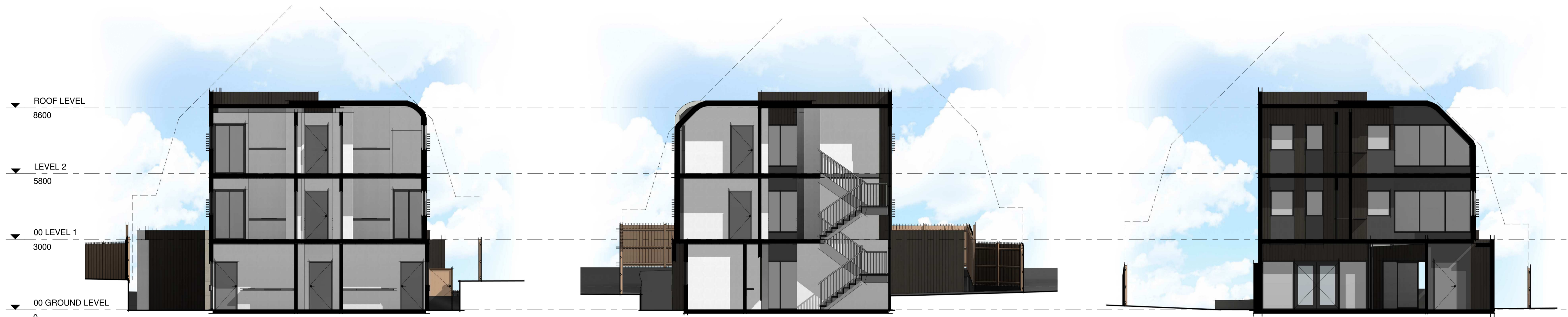
TITLE
PROPOSED BUILDING SECTIONS

SCALE	DATE	DRAWN BY
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0500 **B**



1 SECTION 01
0200 1 : 100

2 SECTION 02
0200 1 : 100

3 SECTION 03
0200 1 : 100



4 SECTION 05
0200 1 : 100



5 SECTION 06
0200 1 : 100

BAUMGART CLARK ARCHITECTS

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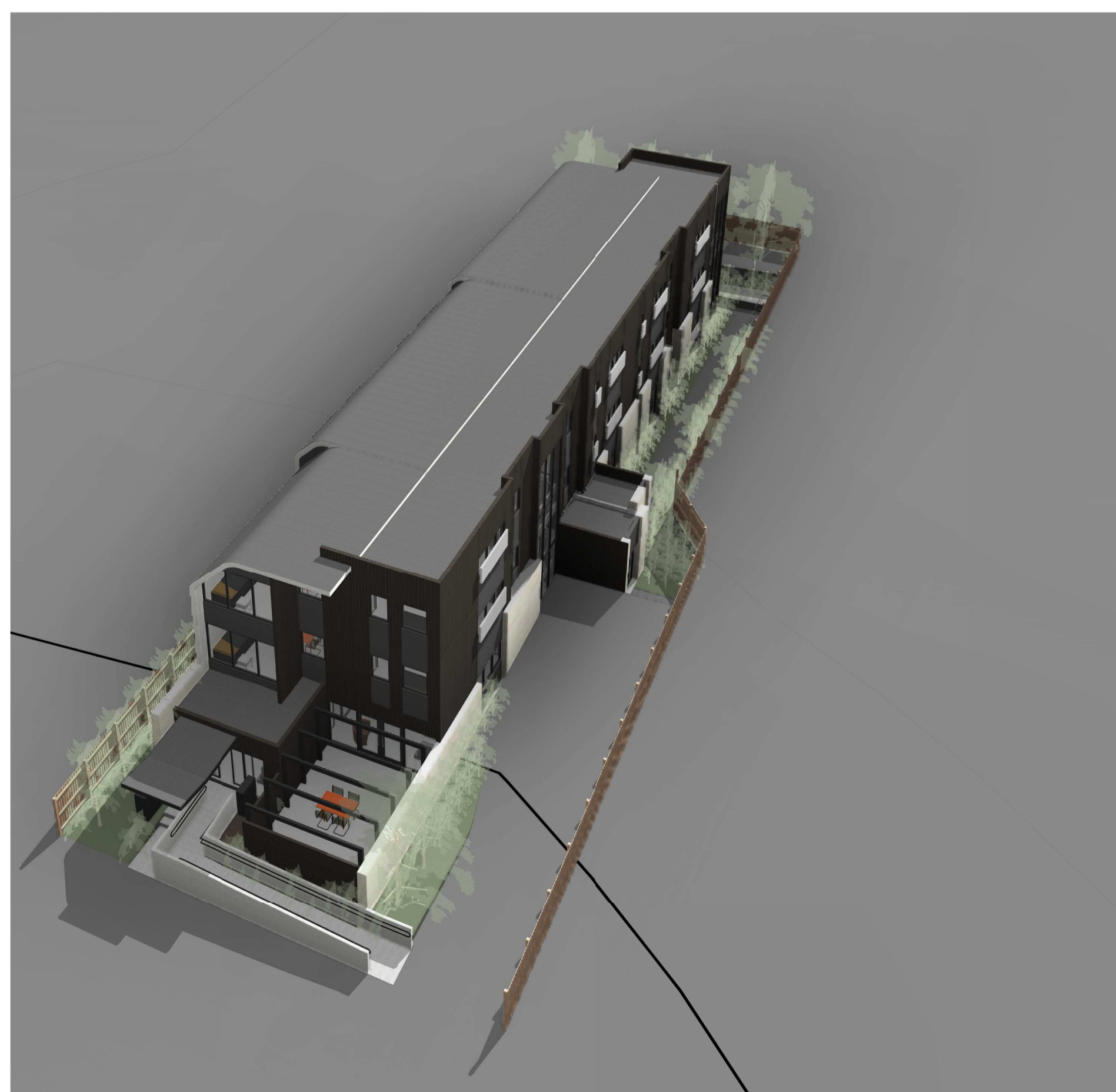
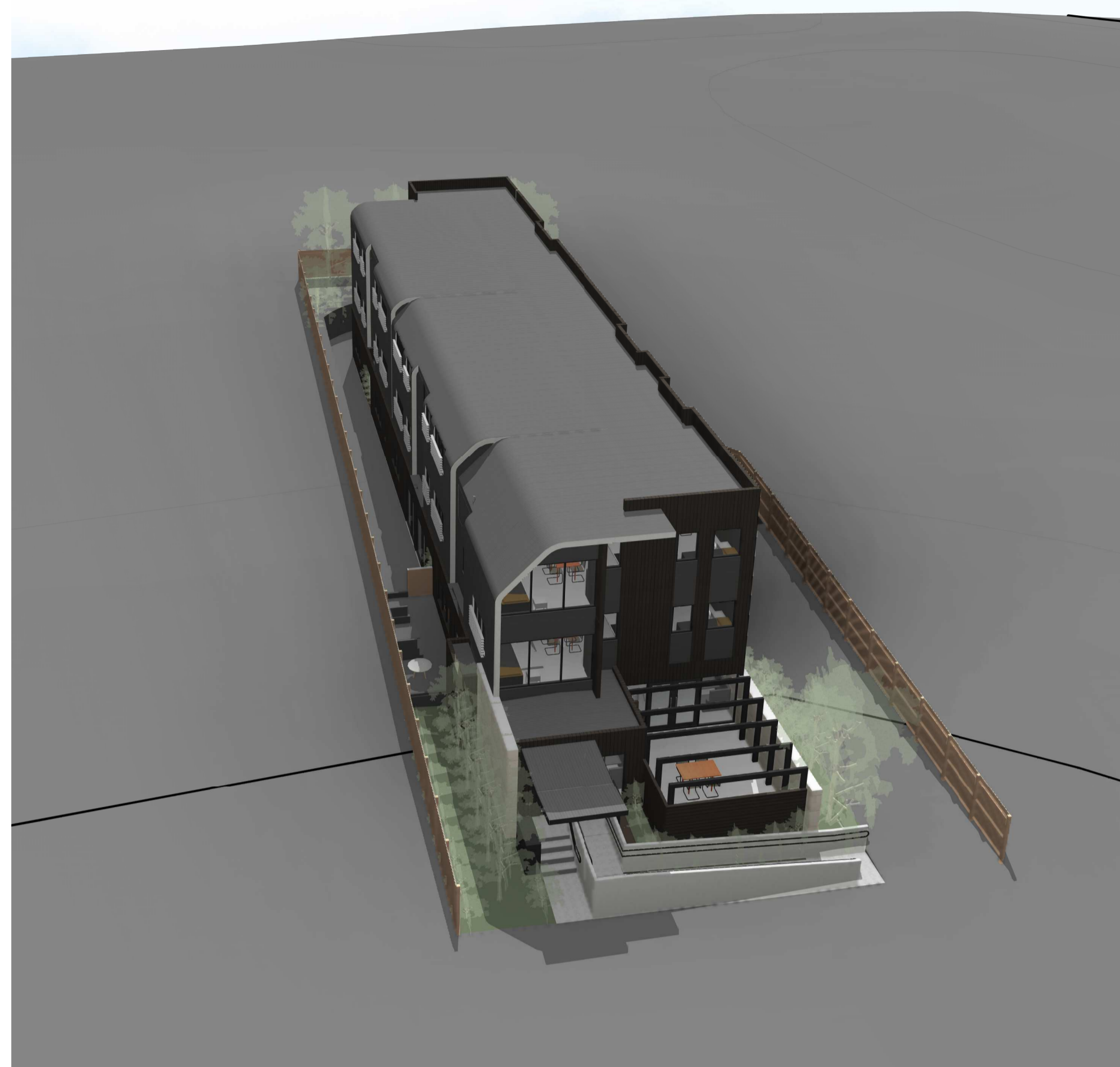
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REVISIONS

A	23/07/2020	CLIENT REVIEW
B	24/07/2020	TO QUANTITY SURVEYOR
C	28/07/2020	FOR REVIEW



PROJECT
28 WELLINGTON STREET,
ST KILDA - COMMON GROUND

CLIENT
ST KILDA COMMUNITY HOUSING

PROJECT NO
2052

TITLE
PERSPECTIVE VIEWS

SCALE	DATE	DRAWN BY
@A1	28/07/2020	AT

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1400	C

BAUMGART CLARK ARCHITECTS

Melbourne
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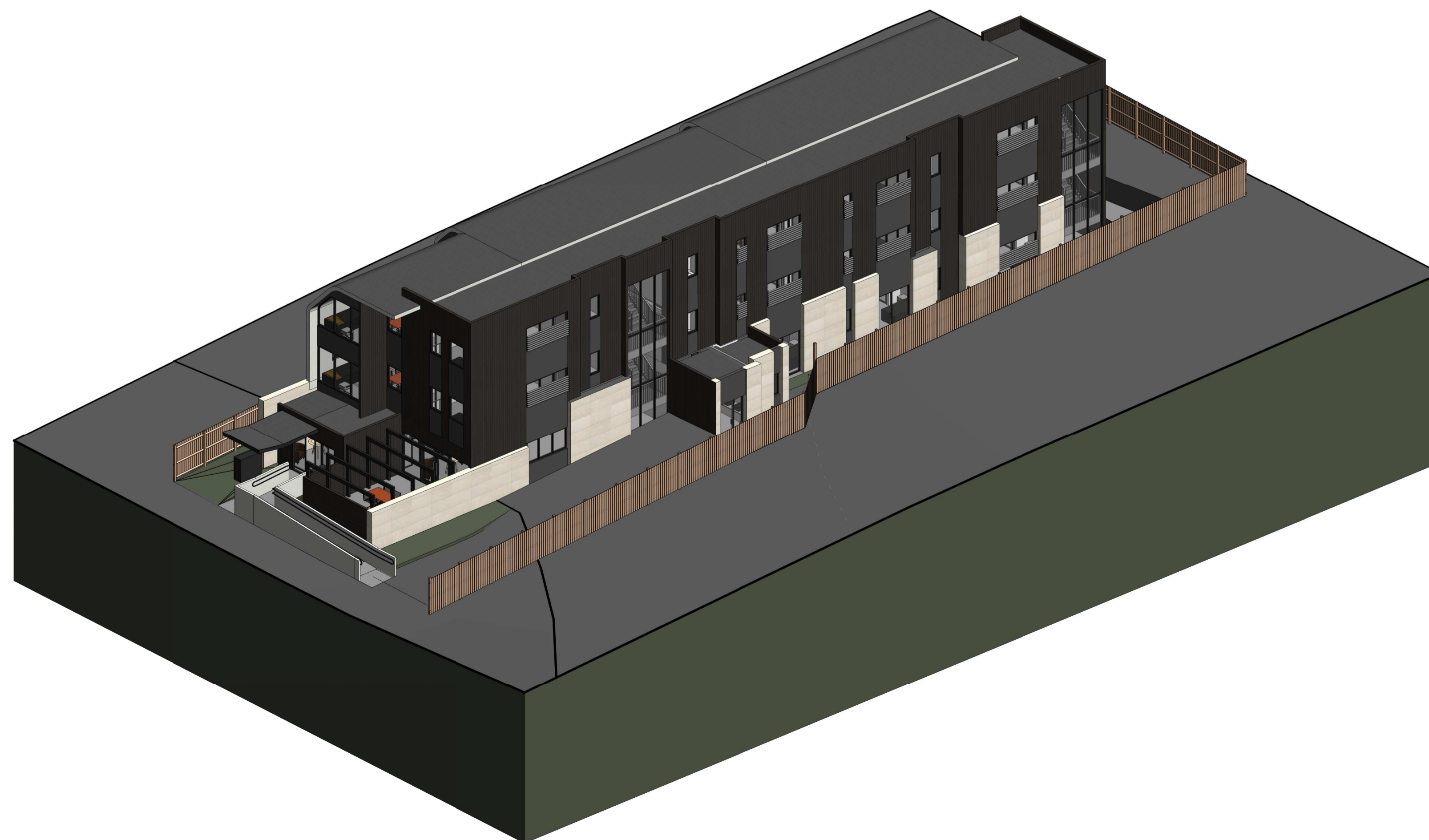
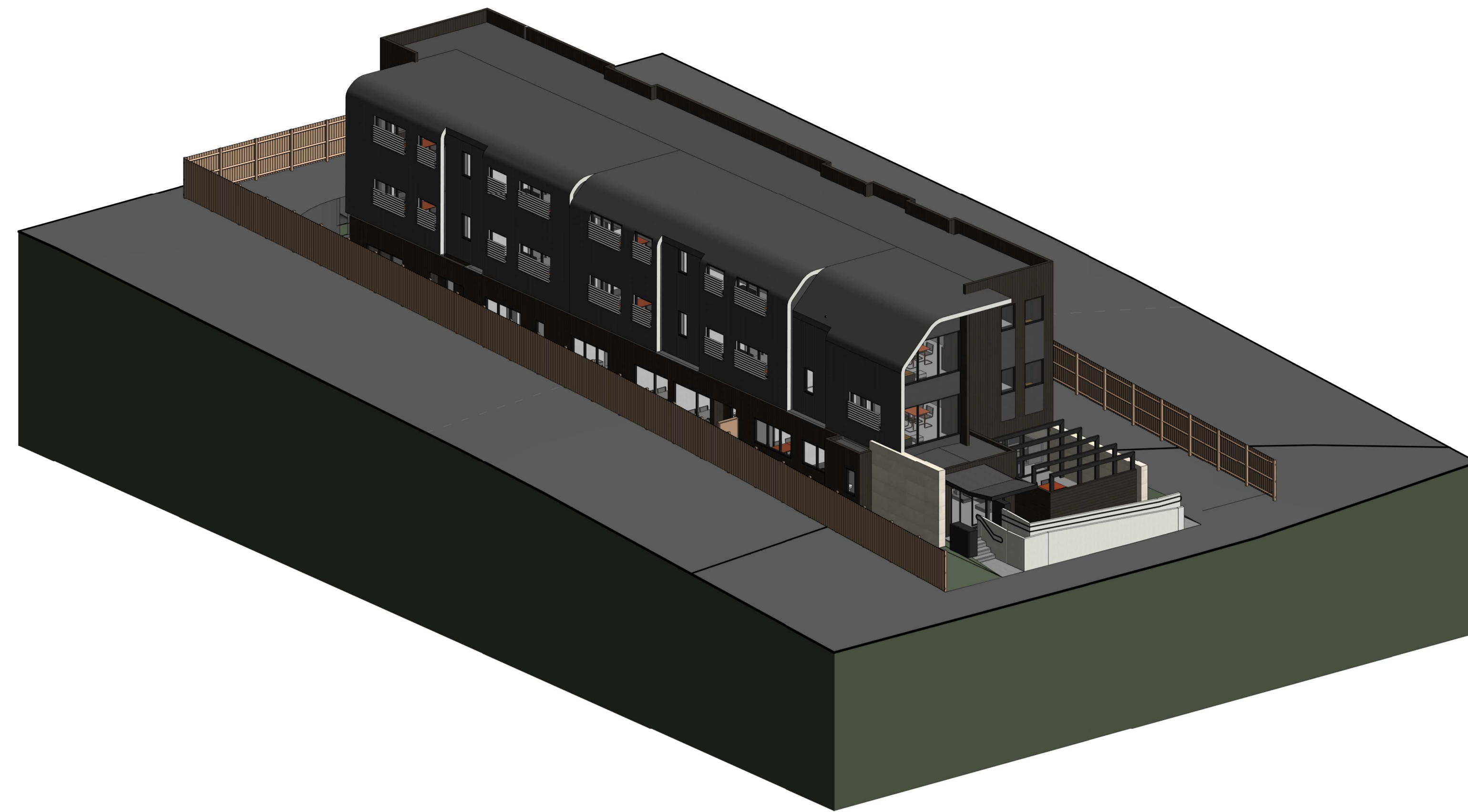
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C	28/07/2020	FOR REVIEW



PROJECT

28 WELLINGTON STREET,
ST KILDA - COMMON GROUND

CLIENT

ST KILDA COMMUNITY HOUSING

PROJECT NO

2052

TITLE

PERSPECTIVE VIEWS

SCALE DATE DRAWN BY

@A1 28/07/2020 AT

SHEET NO REVISION

1401 C

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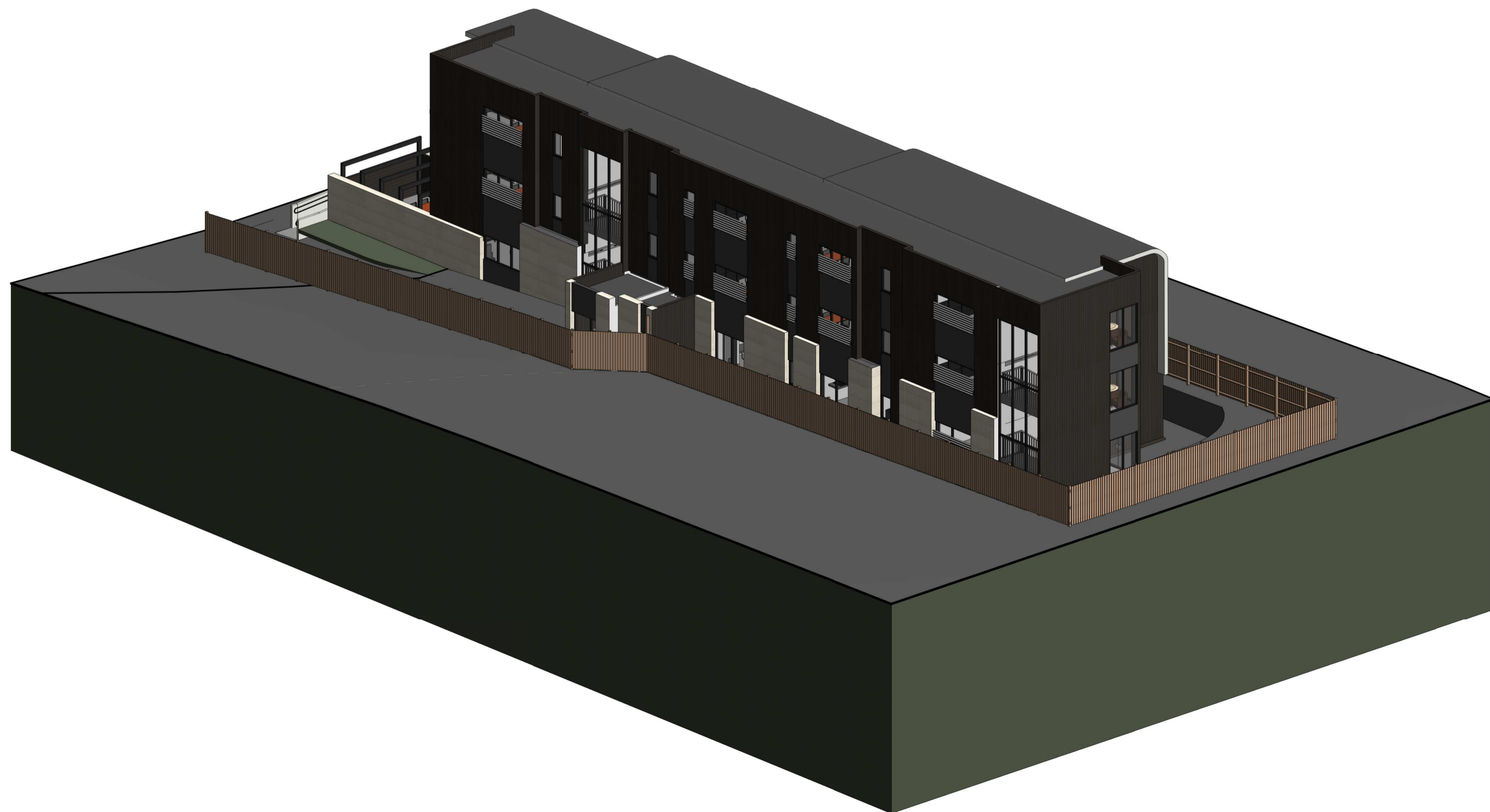
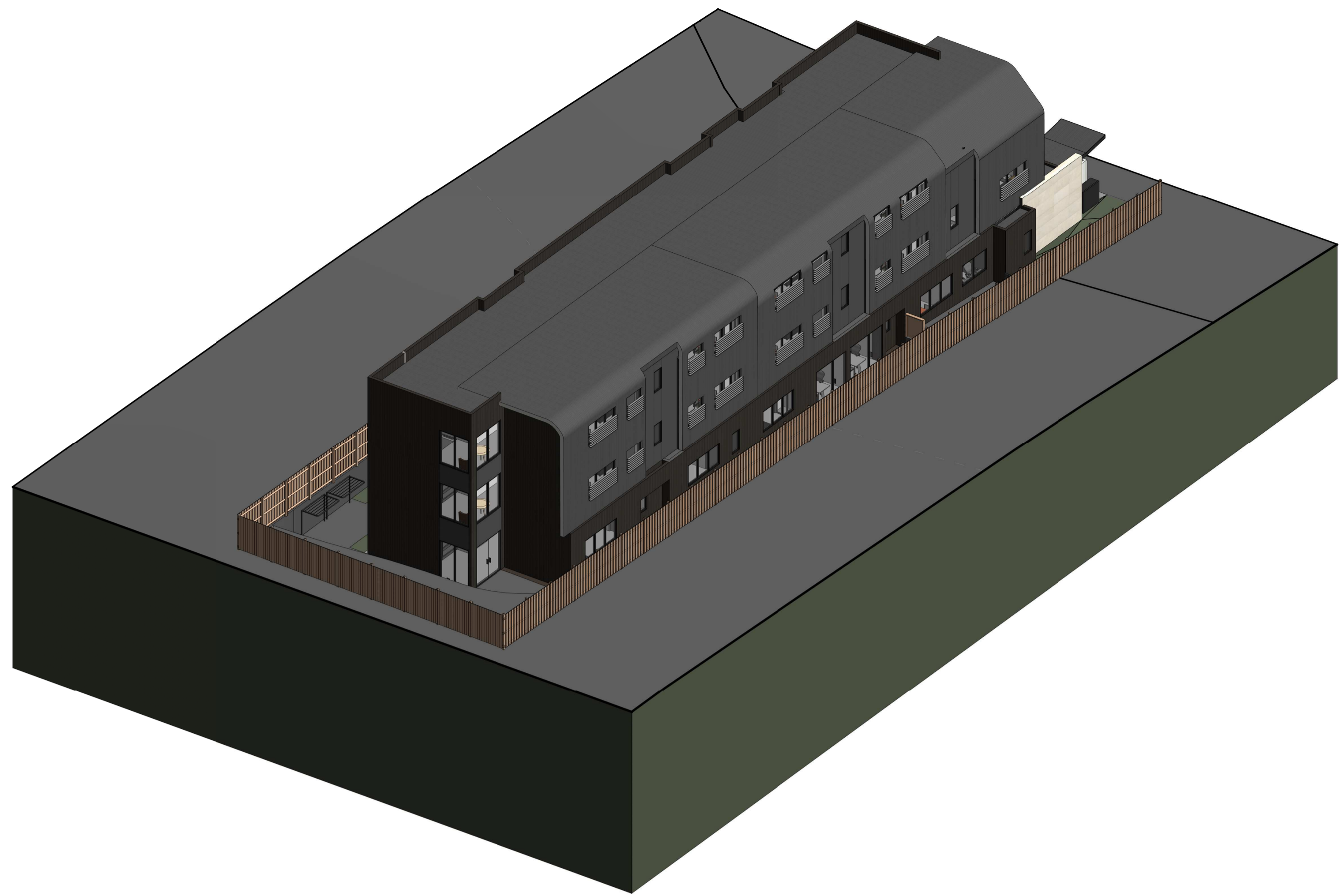
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2052

TITLE
PERSPECTIVE VIEWS

SCALE	DATE	DRAWN BY
@A1	28/07/2020	AT

SHEET NO **REVISION**

1402 **B**