

City of Port Phillip  
 Advertised Plan  
 Planning Application No. 858/2020 (re-advertised)  
 No. of Pages: 1 of 31

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# TOWN PLANNING



14 ALMA ROAD  
 ST KILDA

MIXED-USE DEVELOPMENT

**APARTMENT SUMMARY**

APARTMENT TYPE	APARTMENT COUNT
1 BEDROOM	37
2 BEDROOM	57
Grand total	94

**CAR PARKING - ALLOCATION**

ALLOCATION	CAR SPACES
RESIDENTIAL	76
RETAIL	3
Grand total	79

**BIKE PARKING**

ALLOCATION	TYPE	BIKE SPACES
GROUND (SE)	Floor Based Hoop	3
GROUND	Floor Based Hoop	8
	Wall Based Hanging	28
	Grand total	39

**COMMERCIAL AREA SCHEDULE**

NAME	COMMERCIAL NET INTERNAL
GROUND	
FOOD AND DRINK	200 m²
RETAIL	60.5 m²
Grand total	260 m²

**CAR PARKING - TYPES**

TYPE	CAR SPACES
Accessible	2
Stacker	50
Standard	27
Grand total	79

**CAR PARKING - BREAKDOWN**

ALLOCATION	TYPE	CAR SPACES
BASEMENT 03		
RESIDENTIAL	Stacker	25
RESIDENTIAL	Standard	4
		29
BASEMENT 02		
RESIDENTIAL	Stacker	25
RESIDENTIAL	Standard	4
		29
BASEMENT 01		
RESIDENTIAL	Standard	18
		18
GROUND		
RETAIL	Accessible	2
RETAIL	Standard	1
		3
Grand total		79

**STORAGE CAGES**

ALLOCATION	COUNT
BASEMENT 03	32
BASEMENT 02	32
BASEMENT 01	30
Grand total	94

City of Port Phillip  
Advertised Plan  
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No. of Pages: 2 of 31

REVISION DESCRIPTION	
(i)	SDA apartments deleted following client's feedback
(ii)	Commercial areas updated following Ground Floor changes
(iii)	Ground floor car spaces relocated to Basements. Accessible spaces changed to Standard spaces as a result of SDA apartments deletion. Additional car space added.
(iv)	Bicycle hoops relocated from within the colonnade to the Alma Road footpath

NOT FOR CONSTRUCTION

REVISIONS		
A	07.12.20	ISSUE FOR TOWN PLANNING
B	01.09.21	Voluntary amendments + Additional information following Councils' comments
	21.03.22	Voluntary amendments following Councils' comments (dated 20.10.21)
C	01.08.22	ISSUE FOR TOWN PLANNING

**MIXED-USE DEVELOPMENT  
TOWN PLANNING**

CBG ARCHITECTS & INTERIOR  
33 Tope Street, South Melbourne VIC 3205  
P: +61 3 9525 3855

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DRAWING SCALE NA

1910
14 ALMA ROAD ST KILDA, VIC
TP010 - C
TOWN PLANNING
SCHEDULES



## GENERAL NOTES

- All apartments to have a minimum energy rating of 5 stars
- Overall development to have an average energy rating of 6 stars minimum
- All apartments to have hot water supplied through an electric instantaneous hot water system
- Windows to have high performance glazing as required to meet energy requirements
- High quality indoor environment to be achieved through the use of better materials, more natural light and the provision of fresh air to occupants
- Adequate daylight for occupant health and energy efficiency provided in accordance with design guidelines
- All balconies to be open, with acoustic treatment to soffits to reduce traffic noise impact

## AREA NOTES

- Gross areas are calculated from the centreline of common walls and the outside face of external walls based on the Property Council of Australia method of measurement (balcony and terrace areas are not included)
- Net internal areas are calculated from the inside face of perimeter walls (balcony and terrace areas are not included)
- All values are approximate and may vary during the Design Development and Construction phases

## PARKING NOTES

The basement design, including all levels, ramp grades, transitions, headroom clearances, and dimensions of carparks to be in accordance to AS/NZ 2980.1-2004, and to the satisfaction of the responsible authority. Refer to traffic report prepared by RATIO Consultants for further details.

- All mechanical venting of basement required to occur internally within site
- Allow for numbering and line marking to all carparks
- Car spaces to be typically 2600 x 4900 unless otherwise specified
- Columns to be located within a distance of 250 to 1250mm from aisle end of parking space unless specified otherwise
- Allow for minimum head clearance of 2.2m to all areas of carpark, and 2.5m above disabled carparks
- 'Ned Kelly' wall mounted bike storage (or similar) staggered heights @500mm centers
- CO2 sensors will be installed throughout the two basement carparking areas and connected to mechanical exhaust equipment to lower operational time while maintaining good air quality

## PARKING ALLOCATION

refer to parking schedule for parking information

## NOISE IMPACTS NOTES (STANDARD D16)

The subject site is within a noise influence area as defined in table D3 of Standard D16

### NOISE ATTENUATION WHERE REQUIRED BY STANDARD D16

- Bedrooms to achieve no greater than 35dB(A) from 10pm to 6am
- Living areas to achieve no greater than 40dB(A) from 6am to 10pm

## ACCESSIBILITY NOTES (STANDARD D17)

The development proposal complies with the following Standard. Apartments noted as Clause 58.05-1 compliant, achieve the following:

- A clear opening width of at least 850mm at the entrance to the dwelling and main bedroom.
- A clear path with a minimum width of 1.2 metres that connects the dwelling entrance to the main bedroom, an adaptable bathroom and the living area.
- At least one adaptable bathroom that meets all of the requirements of type A or B in table D4.

 Indicates clear circulation space within bathroom compliant apartments indicated on floor plans. In accordance with

## WASTE AND RECYCLING NOTES (STANDARD D23)

Refer to Waste Management Plan (WMP) prepared by RATIO Consultants

for all information regarding:

- Bin storage, sizes and disposal of waste, recyclables and green waste.
- Waste rooms
- Collection services, vehicle size, access points and movement paths
- Waste chutes
- Drainage, noise and odour controls.

## FUNCTIONAL LAYOUT OBJECTIVE (STANDARD D24)

The development proposal complies with the Standard (Clause 58.07-1 ) and provides the following:  
(TABLE D7)

DWELLING TYPE	MINIMUM WIDTH	MINIMUM DEPTH
Main Bedroom	3.0 meters	3.4 meters
All Other Bedrooms	3.0 meters	3.0 meters

NOTE: Wardrobes are provided in an addition to the minimum internal room dimensions

(TABLE D8)

DWELLING TYPE	MINIMUM WIDTH	MINIMUM AREA
Studio & 1 Bedroom	3.3 meters	10.0 square meters
2 or More Bedrooms	3.6 meters	12.0 square meters

NOTE: Living area dimensions excluding dining and kitchen areas

## ROOM DEPTH NOTES (STANDARD D25)

Apartment notes as Clause 58.07-2 compliant:

Single aspect habitable rooms will not exceed a room depth of 2.5 times the ceiling height.

Open plan living rooms will achieve a minimum 2.7m high ceiling. All living areas are less than 9.0m to the back of the kitchen.

All bedroom ceilings will achieve a minimum 2.4m high ceilings (2.4x2.5 = 6.0 maximum room depth)  
Bedrooms depths are less than 6.0m including robe.

## WINDOWS NOTES (STANDARD D26)

The development proposal complies with the following Standard (Clause 58.07-3)

To allow adequate daylight into new habitable room windows. All habitable rooms are served by external windows without reliance on smaller secondary areas

## NATURAL VENTILATION (STANDARD D27)

The development proposal complies with the following Standard (Clause 58.07-4)

At least 40% of dwelling to provide effective cross ventilaton with a maximum breeze path of 18 meters and a minium path of 5 metres. Ventilation openings to have approximately the same area.

## STORAGE NOTES (STANDARD D20)

The development proposal complies with the following Standard (Clause 58.05-4)

Each dwelling to have access to usable and secure storage space. The total minimum storage space (including kitchen, bathroom and bedroom storage) to meet the requirement :

DWELLING TYPE	MIN. STORAGE VOLUME	MIN. STORAGE VOLUME IN THE DWELLING
1 BED	10 cubic meters	6 cubic meters
2 BED	14 cubic meters	9 cubic meters
3 BED or more	18 cubic meters	12 cubic meters

As nominated on plans all apartments contain the following storage. Note: Storage cage layouts are indicative only.

1 Bed Apts. - 3m<sup>3</sup> min of external storage & 7m<sup>3</sup> internal storage min  
2 Bed Apts. - 3m<sup>3</sup> min of external storage & 10m<sup>3</sup> internal storage min  
3 Bed Apts. - 3m<sup>3</sup> min of external storage & 14m<sup>3</sup> internal storage min

## LIGHTING STRATEGY NOTES

- Proposal to have required street and laneway lighting to achieve safety, security, and allow for passive surveillance to these areas
- LED lighting to be incorporated into solid vertical elements to highlight verticality and form during evenings
- Lighting to be baffled away from proposed and adjoining residences, and be directed away from traffic flows

## LANDSCAPE NOTE

Landscaping shown is INDICATIVE ONLY. Exact number and location of planting and planter pots to be confirmed on site. Vertical wire planting, street tree planting, furniture and communal areas to be designed by Landscape Architect.

**City of Port Phillip  
Advertised Plan  
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REVISION	DESCRIPTION
(1)	Note updated following layout changes

## REVISIONS

REVISION	DATE	DESCRIPTION
A	07.12.20	ISSUE FOR TOWN PLANNING
B	01.09.21	Voluntary amendments + Additional information following Councils' comments
	21.03.22	Voluntary amendments following Councils' comments (dated 20.10.21)
C	01.08.22	ISSUE FOR TOWN PLANNING

## NOT FOR CONSTRUCTION


## MIXED-USE DEVELOPMENT TOWN PLANNING

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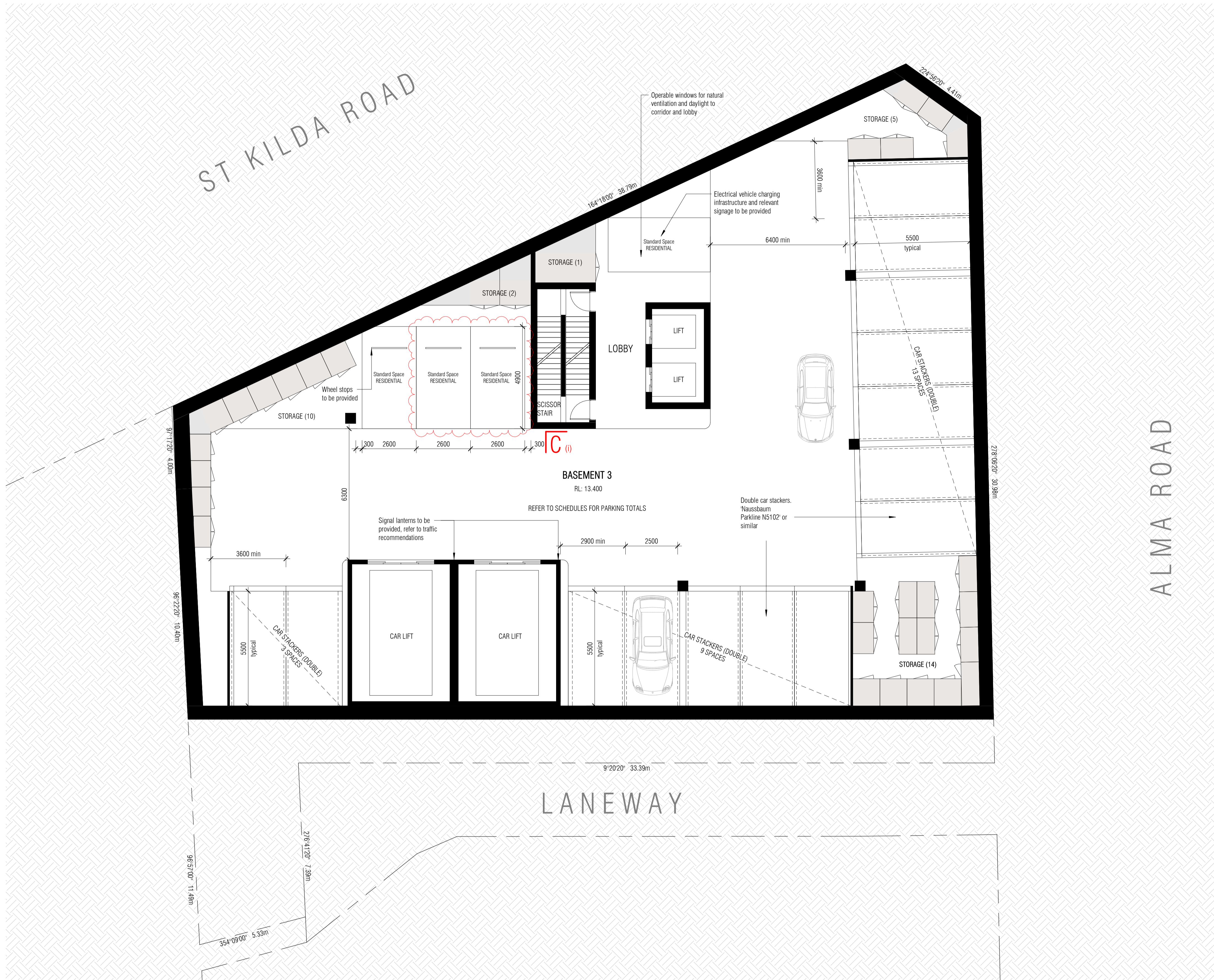
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DRAWING SCALE

NA

	1910
14 ALMA ROAD ST KILDA, VIC	TP011 - C
TOWN PLANNING	
GENERAL NOTES	

**CBG**



**COLOUR LEGEND**

- 1 Bedroom Apartment
- 2 Bedroom Apartment
- 3 Bedroom Apartment
- Communal Facilities
- Commercial
- Services
- Balcony / Terrace
- Internal Storage / Storage Cage

**PARKING NOTES**

The basement design, including all levels, ramp grades, transitions, headroom clearances, and dimensions of car parks to be in accordance to AS/NZ 2980.1-2004, and to the satisfaction of the responsible authority. Refer to traffic report prepared by RATIO Consultants for further details.

- All mechanical venting of basement required to occur internally within site
- Allow for numbering and line marking to all car parks
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- Columns to be located within a distance of 250 to 1250mm from aisle end of parking space unless specified otherwise
- Allow for minimum head clearance of 2.2m to all areas of carpark, and 2.5m above disabled car parks
- 'Ned Kelly' wall mounted bike storage (or similar) staggered heights @500mm centers
- CO2 sensors will be installed throughout the two basement carparking areas and connected to mechanical exhaust equipment to lower operational time while maintaining good air quality

**PARKING ALLOCATION**

refer to parking schedule for parking information

**City of Port Phillip  
 Advertised Plan  
 Planning Application No. 858/2020 (re-advertised)  
 No. of Pages: 4 of 31**

REVISION DESCRIPTION
(i) Additional car space. Accessible space changed to 2 Standard spaces

REVISIONS
A 07.12.20 ISSUE FOR TOWN PLANNING
B 01.09.21 Voluntary amendments + Additional information following Councils' comments
21.03.22 Voluntary amendments following Councils' comments (dated 20.10.21)
C 01.08.22 ISSUE FOR TOWN PLANNING

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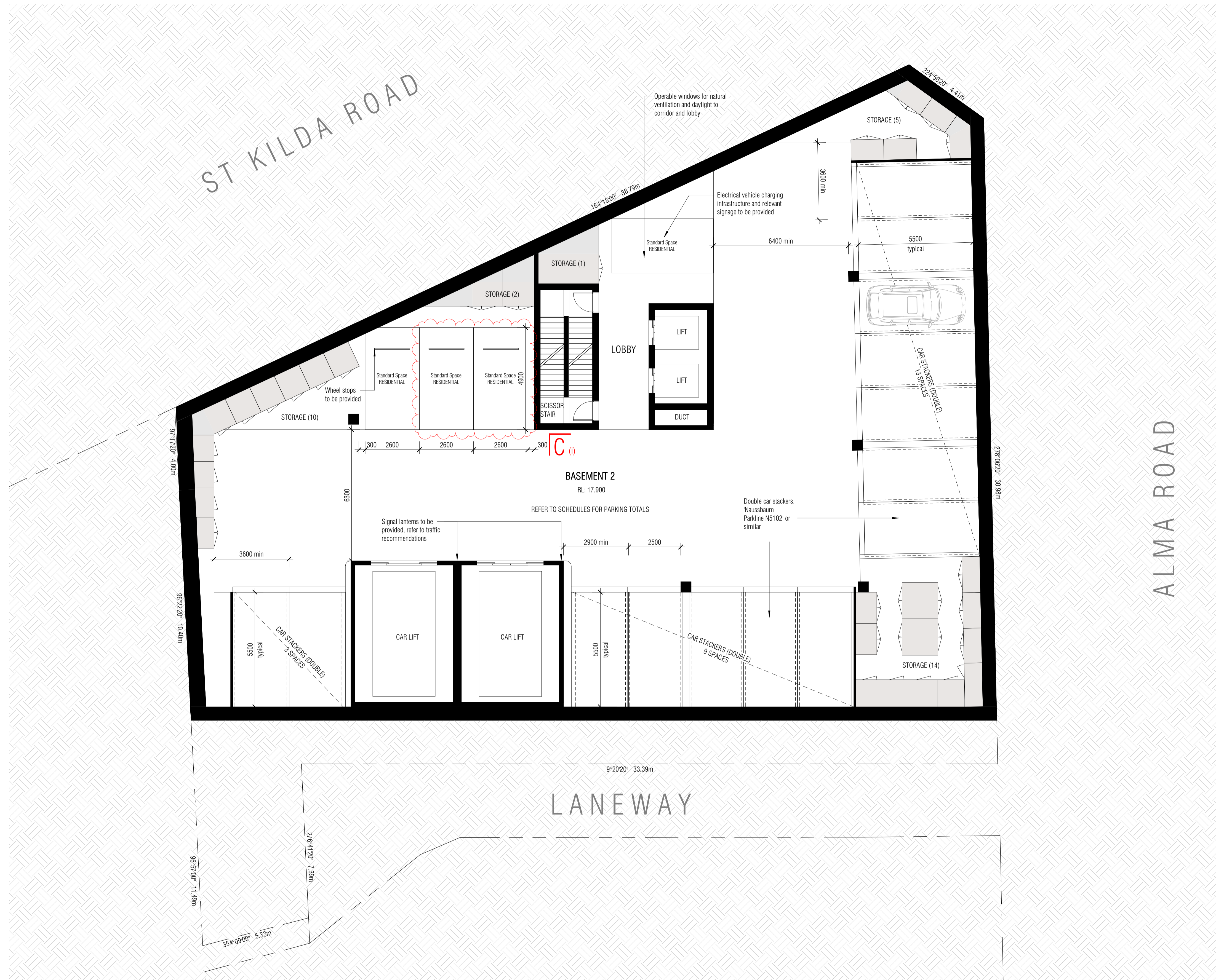
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DRAWING SCALE 1:100 @ A1  
 1:200 @ A3



<b>14 ALMA ROAD          ST KILDA, VIC</b>	1910 <b>TP097 - C</b>
TOWN PLANNING	
BASEMENT THREE PLAN	





**COLOUR LEGEND**

- 1 Bedroom Apartment
- 2 Bedroom Apartment
- 3 Bedroom Apartment
- Communal Facilities
- Commercial
- Services
- Balcony / Terrace
- Internal Storage / Storage Cage

**PARKING NOTES**

The basement design, including all levels, ramp grades, transitions, headroom clearances, and dimensions of car parks to be in accordance to AS/NZ 2980.1-2004, and to the satisfaction of the responsible authority. Refer to traffic report prepared by RATIO Consultants for further details.

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**PARKING ALLOCATION**

refer to parking schedule for parking information

**City of Port Phillip  
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REVISION	DESCRIPTION
(i)	Ground floor car space relocated to Basement. Accessible space changed to Standard space

REVISIONS	DESCRIPTION
A	07.12.20 ISSUE FOR TOWN PLANNING
B	01.09.21 Voluntary amendments + Additional information following Councils' comments
C	21.03.22 Voluntary amendments following Councils' comments (dated 20.10.21)
D	01.08.22 ISSUE FOR TOWN PLANNING

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 1:200 @ A3



<b>14 ALMA ROAD          ST KILDA, VIC</b>	1910 <b>TP098 - C</b>
TOWN PLANNING	
BASEMENT TWO PLAN	





**COLOUR LEGEND**

- 1 Bedroom Apartment
- 2 Bedroom Apartment
- 3 Bedroom Apartment
- Communal Facilities
- Commercial
- Services
- Balcony / Terrace
- Internal Storage / Storage Cage

**PARKING NOTES**

The basement design, including all levels, ramp grades, transitions, headroom clearances, and dimensions of car parks to be in accordance to AS/NZ 2980.1-2004, and to the satisfaction of the responsible authority. Refer to traffic report prepared by RATIO Consultants for further details.

- All mechanical venting of basement required to occur internally within site
- Allow for numbering and line marking to all car parks
- Car spaces to be typically 2600 x 4900 unless otherwise specified
- Columns to be located within a distance of 250 to 1250mm from aisle end of parking space unless specified otherwise
- Allow for minimum head clearance of 2.2m to all areas of carpark, and 2.5m above disabled car parks
- 'Ned Kelly' wall mounted bike storage (or similar) staggered heights @500mm centers
- CO2 sensors will be installed throughout the two basement carparking areas and connected to mechanical exhaust equipment to lower operational time while maintaining good air quality

**PARKING ALLOCATION**

refer to parking schedule for parking information

**City of Port Phillip  
 Advertised Plan  
 Planning Application No. 858/2020 (re-advertised)  
 No. of Pages: 6 of 31**

REVISION	DESCRIPTION
(i)	Ground floor car space relocated to Basement. Accessible space changed to Standard space

REVISIONS	DATE	DESCRIPTION
A	07.12.20	ISSUE FOR TOWN PLANNING
B	01.09.21	Voluntary amendments + Additional information following Councils' comments
C	21.03.22	Voluntary amendments following Councils' comments (dated 20.10.21)
D	01.08.22	ISSUE FOR TOWN PLANNING

NOT FOR CONSTRUCTION

**MIXED-USE DEVELOPMENT  
 TOWN PLANNING**

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<b>14 ALMA ROAD          ST KILDA, VIC</b>	1910 <b>TP099 - C</b>
TOWN PLANNING	
BASEMENT ONE PLAN	





**COLOUR LEGEND**

[Light Blue]	1 Bedroom Apartment
[Medium Blue]	2 Bedroom Apartment
[Dark Blue]	3 Bedroom Apartment
[Yellow]	Communal Facilities
[Red]	Commercial
[Light Green]	Services
[White with Grid]	Balcony / Terrace
[Dark Grey]	Internal Storage / Storage Cage

- GENERAL NOTES**
- All apartments to have a minimum energy rating of 5 stars
  - Overall development to have an average energy rating of 6 stars minimum
  - All apartments to have hot water supplied through an electric instantaneous hot water system
  - Windows to have high performance glazing as required to meet energy requirements
  - High quality indoor environment to be achieved through the use of better materials, more natural light and the provision of fresh air to occupants
  - Adequate daylight for occupant health and energy efficiency provided in accordance with design guidelines
  - All balconies to be open, with acoustic treatment to soffits to reduce traffic noise impact

**LANDSCAPE NOTE**

Landscaping shown is INDICATIVE ONLY. Exact number and location of planting and planter pots to be confirmed on site. Vertical wire planting, street tree planting, furniture and communal areas to be designed by Landscape Architect.

**City of Port Phillip  
 Advertised Plan  
 Planning Application No. 858/2020 (re-advertised)  
 No. of Pages: 7 of 31**

REVISION DESCRIPTION	
(i)	Ground floor glazing note added in response to Council comments (item C)
(ii)	Fire stair egresses updated, note added (item C)
(iii)	Layout and BOH entry updated in response to Council comments (item C.3)
(iv)	Building mass articulation updated. Recesses introduced between 'spire' and transitional forms in response to Council comments (item D)
(v)	Join between glazing and solid elements in 'Spire' form updated (item D.3)
(vi)	Commercial entries updated (item D.7)
(vii)	Fixed street level planter boxes deleted as per Council comments (item E.1)
(viii)	External corner window note added
(ix)	Number of entries reduced to no more than two per tenancy
(x)	Level between the colonnade and the Alma Road footpath clarified
(xi)	Bicycle hoops relocated from within the colonnade to the Alma Road footpath
(xii)	Door to loading bay incorporated
(xiii)	Pedestrian awnings increased in width
(xiv)	Commercial bin room layout updated as per Waste consultant advice

(revision descriptions located on right side of this sheet)

**REVISIONS**

A	07.12.20	ISSUE FOR TOWN PLANNING
B	01.09.21	Voluntary amendments + Additional information following Councils' comments
	21.03.22	Voluntary amendments following Councils' comments (dated 20.10.21)
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14 ALMA ROAD ST KILDA, VIC	1910
TOWN PLANNING	TP100 - C
GROUND FLOOR PLAN	



ST KILDA ROAD

ALMA ROAD



**COLOUR LEGEND**

[Light Blue Box]	1 Bedroom Apartment
[Medium Blue Box]	2 Bedroom Apartment
[Dark Blue Box]	3 Bedroom Apartment
[Yellow Box]	Communal Facilities <span style="color: red;">C (vi)</span>
[Red Box]	Commercial
[Light Green Box]	Services
[White Box with Dotted Border]	Balcony / Terrace
[Dark Grey Box]	Internal Storage / Storage Cage

- GENERAL NOTES**
- All apartments to have a minimum energy rating of 5 stars
  - Overall development to have an average energy rating of 6 stars minimum
  - All apartments to have hot water supplied through an electric instantaneous hot water system
  - Windows to have high performance glazing as required to meet energy requirements
  - High quality indoor environment to be achieved through the use of better materials, more natural light and the provision of fresh air to occupants
  - Adequate daylight for occupant health and energy efficiency provided in accordance with design guidelines
  - All balconies to be open, with acoustic treatment to soffits to reduce traffic noise impact

**LANDSCAPE NOTE**

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No. of Pages: 8 of 31**

REVISION DESCRIPTION	
(i)	Building mass articulation updated. Recesses introduced between 'spire' and transitional forms in response to Council comments (item D)
(ii)	Facade articulation and materiality updated following Council comments
(iii)	All balcony sizes and layouts updated in response to Council comments (item F.1)
(iv)	Apartments facing laneway and its layouts updated in response to Council comments (item F.3). Bigger setbacks to living areas introduced.
(v)	All apartment layouts updated and Apartment Design Standards compliance shown on plans
(vi)	OOA (On-site Overnight Assistance) and SDA apartments removed
(vii)	Landscape amended on main entries. Notes updated
(viii)	External corner window note added
(ix)	Treatment of the corner 'point' of the building altered to match adjacent facade
(x)	Pedestrian awnings increased in width

(revision descriptions located on right side of this sheet)

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1:200 @ A3



14 ALMA ROAD ST KILDA, VIC	1910
TOWN PLANNING	TP101 - C
FIRST FLOOR PLAN	





ST KILDA ROAD

ALMA ROAD

LANEWAY

101 St Kilda Road  
15 storey building

8-12 Alma Road  
2 storey building

COLOUR LEGEND

- 1 Bedroom Apartment
- 2 Bedroom Apartment
- 3 Bedroom Apartment
- Communal Facilities
- Commercial
- Services
- Balcony / Terrace
- Internal Storage / Storage Cage

GENERAL NOTES

- All apartments to have a minimum energy rating of 5 stars
- Overall development to have an average energy rating of 6 stars minimum
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**City of Port Phillip  
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No. of Pages: 9 of 31**

REVISION DESCRIPTION	
(i)	Building mass articulation updated. Recesses introduced between 'spire' and transitional forms in response to Council comments (item D)
(ii)	Facade articulation and materiality updated following Council comments
(iii)	All balcony sizes and layouts updated in response to Council comments (item F.1)
(iv)	Apartments facing laneway and its layouts updated in response to Council comments (item F.3). Bigger setbacks to living areas introduced
(v)	All apartment layouts updated and Apartment Design Standards compliance shown on plans
(vi)	SDA apartments removed
(vii)	External corner window note added
(viii)	Treatment of the corner 'point' of the building altered to match adjacent facade

(revision descriptions located on right side of this sheet)

NOT FOR CONSTRUCTION

REVISIONS	
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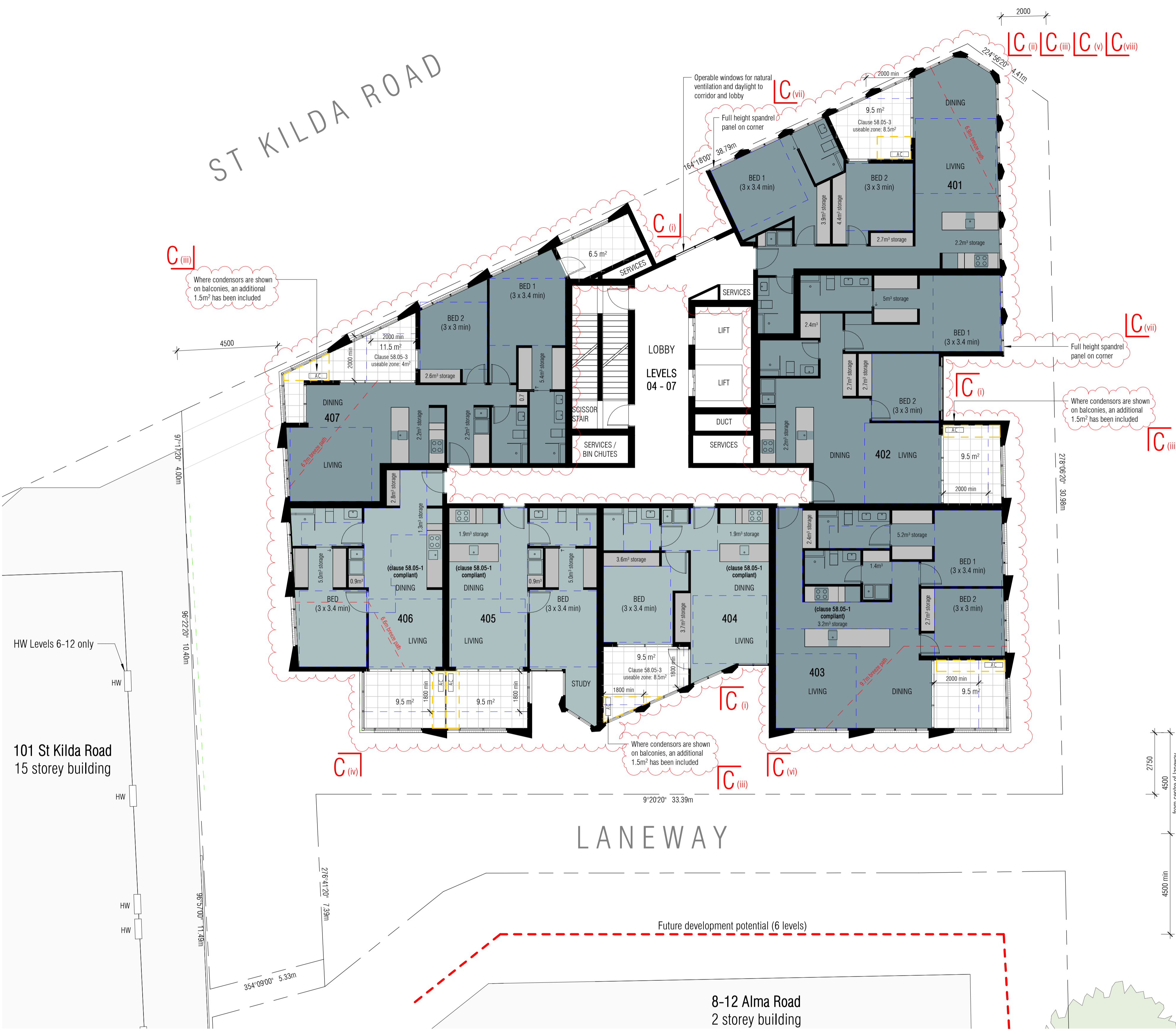


1910	
14 ALMA ROAD ST KILDA, VIC	
TP102 - C	
TOWN PLANNING	
SECOND & THIRD FLOOR PLAN	



ST KILDA ROAD

ALMA ROAD



**COLOUR LEGEND**

[Light Blue Box]	1 Bedroom Apartment
[Medium Blue Box]	2 Bedroom Apartment
[Dark Blue Box]	3 Bedroom Apartment
[Yellow Box]	Communal Facilities
[Red Box]	Commercial
[Light Green Box]	Services
[White Box with Grid]	Balcony / Terrace
[Grey Box]	Internal Storage / Storage Cage

- GENERAL NOTES**
- All apartments to have a minimum energy rating of 5 stars
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**City of Port Phillip  
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 Planning Application No. 858/2020 (re-advertised)  
 No. of Pages: 10 of 31**

REVISION DESCRIPTION	
(i)	Building mass articulation updated. Recesses introduced between 'spire' and transitional forms in response to Council comments (item D)
(ii)	Facade articulation and materiality updated following Council comments
(iii)	All balcony sizes and layouts updated in response to Council comments (item F.1)
(iv)	Apartments facing laneway and its layouts updated in response to Council comments (item F.3). Bigger setbacks to living areas introduced
(v)	All apartment layouts updated and Apartment Design Standards compliance shown on plans
(vi)	SDA apartments removed
(vii)	External corner window note added
(viii)	Treatment of the corner 'point' of the building altered to match adjacent facade

(revision descriptions located on right side of this sheet)

**REVISIONS**

A	07.12.20	ISSUE FOR TOWN PLANNING
B	01.09.21	Voluntary amendments + Additional information following Councils' comments
	21.03.22	Voluntary amendments following Councils' comments (dated 20.10.21)
C	01.08.22	ISSUE FOR TOWN PLANNING

NOT FOR CONSTRUCTION

**MIXED-USE DEVELOPMENT  
 TOWN PLANNING**  
 CBG ARCHITECTS & INTERIOR  
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DRAWING SCALE 1:100 @ A1  
 1:200 @ A3



1910
14 ALMA ROAD ST KILDA, VIC
<b>TP103 - C</b>
TOWN PLANNING
FOURTH TO SEVENTH FLOOR PLAN



ST KILDA ROAD

ALMA ROAD

LANEWAY



**COLOUR LEGEND**

[Light Blue Box]	1 Bedroom Apartment
[Medium Blue Box]	2 Bedroom Apartment
[Dark Blue Box]	3 Bedroom Apartment
[Yellow Box]	Communal Facilities
[Red Box]	Commercial
[Light Green Box]	Services
[White Box with Dotted Border]	Balcony / Terrace
[Grey Box]	Internal Storage / Storage Cage

- GENERAL NOTES**
- All apartments to have a minimum energy rating of 5 stars
  - Overall development to have an average energy rating of 6 stars minimum
  - All apartments to have hot water supplied through an electric instantaneous hot water system
  - Windows to have high performance glazing as required to meet energy requirements
  - High quality indoor environment to be achieved through the use of better materials, more natural light and the provision of fresh air to occupants
  - Adequate daylight for occupant health and energy efficiency provided in accordance with design guidelines
  - All balconies to be open, with acoustic treatment to soffits to reduce traffic noise impact

**City of Port Phillip  
Advertised Plan  
Planning Application No. 858/2020 (re-advertised)  
No. of Pages: 11 of 31**

REVISION DESCRIPTION	
(i)	Building mass articulation updated. Recesses introduced between 'spire' and transitional forms in response to Council comments (item D)
(ii)	Facade articulation and materiality updated following Council comments
(iii)	All balcony sizes and layouts updated in response to Council comments (item F.1)
(iv)	Apartments facing laneway and its layouts updated in response to Council comments (item F.3). Bigger setbacks to living areas introduced
(v)	All apartment layouts updated and Apartment Design Standards compliance shown on plans
(vi)	External corner window note added
(vii)	Treatment of the corner 'point' of the building altered to match adjacent facade

(revision descriptions located on right side of this sheet)

NOT FOR CONSTRUCTION

**REVISIONS**

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**MIXED-USE DEVELOPMENT  
TOWN PLANNING**

**CBG ARCHITECTS & INTERIOR**  
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1:200 @ A3



1910
14 ALMA ROAD ST KILDA, VIC
<b>TP104 - C</b>
TOWN PLANNING
EIGHTH TO THIRTEENTH FLOOR PLAN





**COLOUR LEGEND**

[Light Blue Box]	1 Bedroom Apartment
[Medium Blue Box]	2 Bedroom Apartment
[Dark Blue Box]	3 Bedroom Apartment
[Yellow Box]	Communal Facilities
[Red Box]	Commercial
[Light Green Box]	Services
[White Box with Grid]	Balcony / Terrace
[Dark Grey Box]	Internal Storage / Storage Cage

- GENERAL NOTES**
- All apartments to have a minimum energy rating of 5 stars
  - Overall development to have an average energy rating of 6 stars minimum
  - All apartments to have hot water supplied through an electric instantaneous hot water system
  - Windows to have high performance glazing as required to meet energy requirements
  - High quality indoor environment to be achieved through the use of better materials, more natural light and the provision of fresh air to occupants
  - Adequate daylight for occupant health and energy efficiency provided in accordance with design guidelines
  - All balconies to be open, with acoustic treatment to soffits to reduce traffic noise impact

**LANDSCAPE NOTE**

Landscaping shown is INDICATIVE ONLY. Exact number and location of planting and planter pots to be confirmed on site. Vertical wire planting, street tree planting, furniture and communal areas to be designed by Landscape Architect.

**DDO NOTE:**

Total building area (all levels including roof area) =	11,657 m <sup>2</sup> (100%)
Area outside the DDO compliant envelope (13 storeys) =	1,521 m <sup>2</sup> (13.5%)
*Approximately 13.5% of the total building area (levels 14, 15, 16 and roof) is outside the DDO compliant envelope of 13 storeys	
Area outside the DDO compliant envelope (15 storeys) =	703 m <sup>2</sup> (6%)
*Approximately 6% of the total building area (level 16 and roof) is outside the DDO compliant envelope of 15 storeys	

**REVISION DESCRIPTION**

(i)	Building mass articulation updated. Recesses introduced between 'spire' and transitional forms in response to Council comments (item D)
(ii)	Facade articulation and materiality updated following Council comments
(iii)	All balcony sizes and layouts updated in response to Council comments (item F.1)
(iv)	All apartment layouts updated and Apartment Design Standards compliance shown on plans
(v)	External corner window note added
(vi)	Treatment of the corner 'point' of the building altered to match adjacent facade

(revision descriptions located on right side of this sheet)

**REVISIONS**

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NOT FOR CONSTRUCTION

**MIXED-USE DEVELOPMENT  
 TOWN PLANNING**

**CBG ARCHITECTS & INTERIOR**  
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14 ALMA ROAD ST KILDA, VIC	1910 TP105 - C
TOWN PLANNING	
FOURTEENTH FLOOR PLAN	



ST KILDA ROAD

101 St Kilda Road  
 15 storey building

ALMA ROAD

LANEWAY

8-12 Alma Road  
 2 storey building



COLOUR LEGEND

- 1 Bedroom Apartment
- 2 Bedroom Apartment
- 3 Bedroom Apartment
- Communal Facilities
- Commercial
- Services
- Balcony / Terrace
- Internal Storage / Storage Cage

GENERAL NOTES

- All apartments to have a minimum energy rating of 5 stars
- Overall development to have an average energy rating of 6 stars minimum
- All apartments to have hot water supplied through an electric instantaneous hot water system
- Windows to have high performance glazing as required to meet energy requirements
- High quality indoor environment to be achieved through the use of better materials, more natural light and the provision of fresh air to occupants
- Adequate daylight for occupant health and energy efficiency provided in accordance with design guidelines
- All balconies to be open, with acoustic treatment to soffits to reduce traffic noise impact

C (ii)

DDO NOTE:

Total building area (all levels including roof area) =	11,657 m <sup>2</sup> (100%)
Area outside the DDO compliant envelope (13 storeys) =	1,521 m <sup>2</sup> (13.5%)
*Approximately 13.5% of the total building area (levels 14, 15, 16 and roof) is outside the DDO compliant envelope of 13 storeys	
Area outside the DDO compliant envelope (15 storeys) =	703 m <sup>2</sup> (6%)
*Approximately 6% of the total building area (level 16 and roof) is outside the DDO compliant envelope of 15 storeys	

(revision descriptions located on right side of this sheet)

REVISIONS	REVISION DESCRIPTION
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NOT FOR CONSTRUCTION

MIXED-USE DEVELOPMENT  
 TOWN PLANNING  
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DRAWING SCALE 1:100 @ A1  
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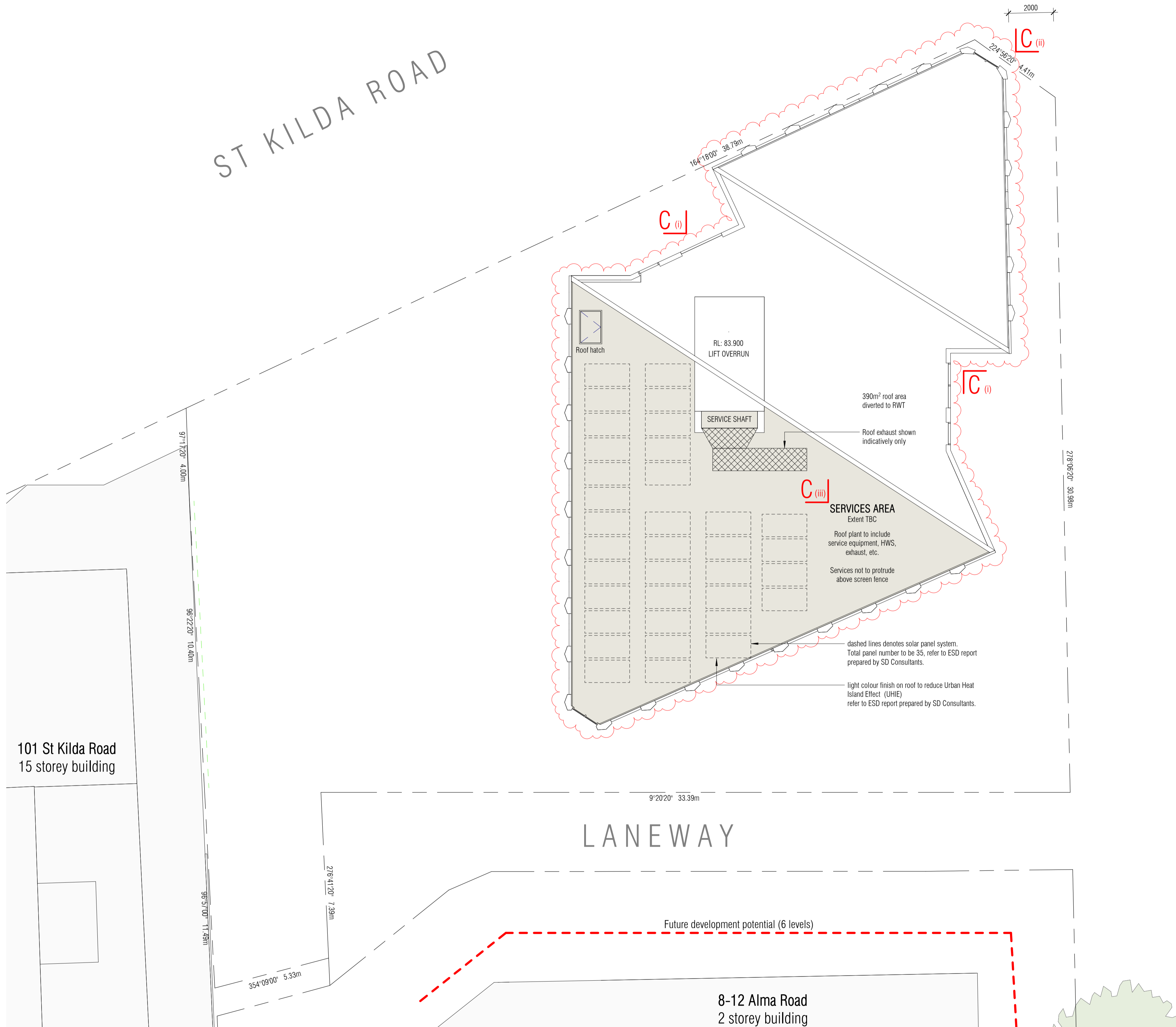


REVISION DESCRIPTION	
(i)	Building mass articulation updated. Recesses introduced between 'spire' and transitional forms in response to Council comments (item D)
(ii)	Facade articulation and materiality updated following Council comments
(iii)	All balcony sizes and layouts updated in response to Council comments (item F.1)
(iv)	All apartment layouts updated and Apartment Design Standards compliance shown on plans
(v)	External corner window note added
(vi)	Treatment of the corner 'point' of the building altered to match adjacent facade
(vii)	Useability/intended function of the 'nook' clarified at levels 15 and 16

14 ALMA ROAD ST KILDA, VIC	1910
	TP106 - C
TOWN PLANNING	
FIFTEENTH & SIXTEENTH FLOOR PLAN	



ST KILDA ROAD



COLOUR LEGEND

- 1 Bedroom Apartment
- 2 Bedroom Apartment
- 3 Bedroom Apartment
- Communal Facilities
- Commercial
- Services
- Balcony / Terrace
- Internal Storage / Storage Cage

GENERAL NOTES

- All apartments to have a minimum energy rating of 5 stars
- Overall development to have an average energy rating of 6 stars minimum
- All apartments to have hot water supplied through an electric instantaneous hot water system
- Windows to have high performance glazing as required to meet energy requirements
- High quality indoor environment to be achieved through the use of better materials, more natural light and the provision of fresh air to occupants
- Adequate daylight for occupant health and energy efficiency provided in accordance with design guidelines
- All balconies to be open, with acoustic treatment to soffits to reduce traffic noise impact

C (i)

DDO NOTE:

Total building area (all levels including roof area) = 11,657 m<sup>2</sup> (100%)

Area outside the DDO compliant envelope (13 storeys) = 1,521 m<sup>2</sup> (13.5%)

\*Approximately 13.5% of the total building area (levels 14, 15, 16 and roof) is outside the DDO compliant envelope of 13 storeys

Area outside the DDO compliant envelope (15 storeys) = 703 m<sup>2</sup> (6%)

\*Approximately 6% of the total building area (level 16 and roof) is outside the DDO compliant envelope of 15 storeys

101 St Kilda Road  
15 storey building

LANEWAY

ALMA ROAD

8-12 Alma Road  
2 storey building

REVISION DESCRIPTION	
(i)	Building mass articulation updated. Recesses introduced between 'spire' and transitional forms in response to Council comments (item D)
(ii)	Facade articulation and materiality updated following Council comments
(iii)	Services area updated following building mass changes

NOT FOR CONSTRUCTION

REVISIONS	
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MIXED-USE DEVELOPMENT  
TOWN PLANNING

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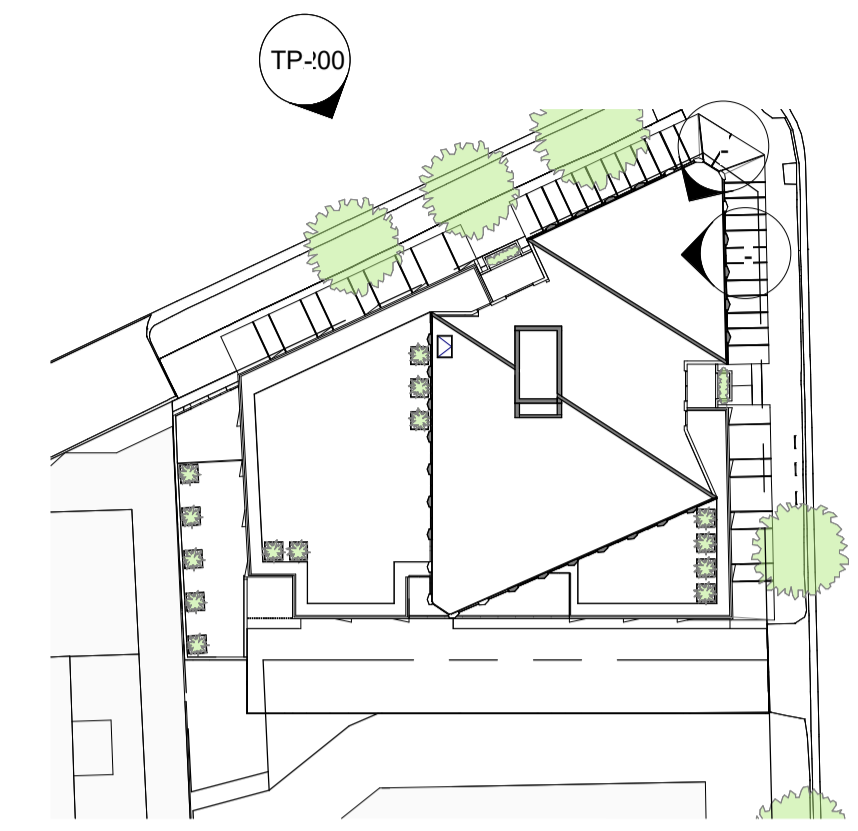
DRAWING SCALE 1:100 @ A1  
1:200 @ A3



City of Port Phillip  
Advertised Plan  
Planning Application No. 858/2020 (re-advertised)  
No. of Pages: 14 of 31

14 ALMA ROAD ST KILDA, VIC	1910
TOWN PLANNING	TP107 - C
ROOF PLAN	

CBG



KEY PLAN

FINISHES LEGEND

- C (ii)** AR1 TEXTURE RENDER - charcoal/bronze
- B1 BRICK - muted tan
- CT1 BRIGHTON LITE CONCRETE (warm white colour) with Ecotone or similar penetrating stain to ensure finished colour consistency (vertical elements above canopy)
- CT2 CONCRETE (charcoal colour) with Ecotone or similar penetrating stain to ensure finished colour consistency
- C (iv)** G1 TINTED GLASS - warm silver grey (all glass unless otherwise specified)
- G2 COLOURBACK GLASS - silver grey (to slab edge and spandrels typically)
- G3 GLASS - clear (ground floor and communal areas typically)
- C (ii)** G4 GLASS - grey tint
- M1 METAL - dark bronze (Laneway garage doors and services doors)
- PC1 POWDERCOAT - dark bronze (window frames)
- T1 LARGE FORMAT PORCELAIN TILE - textured warm white (ground floor 'spire' vertical elements)

LIGHTING STRATEGY NOTES

- Proposal to have required street and laneway lighting to achieve safety, security, and allow for passive surveillance to these areas
- LED lighting to be incorporated into solid vertical elements to highlight verticality and form during evenings
- Lighting to be baffled away from proposed and adjoining residences, and be directed away from traffic flows

REVISION DESCRIPTION	
(i)	Levels updated: Transitional form height decreased to match DDO36 building height. Corner RL reduced and featured architectural parapet amended to slope towards the centre of the site.
(ii)	Elevations updated: - Building mass articulation updated. Recesses introduced between 'spire' and transitional forms in response to Council comments (item D) - Facade materiality updated following Council comments. - Solid elements modules updated, horizontal elements introduced - Canopies updated
(iii)	Urban art and Landscape notes updated
(iv)	Materials CT1 and CT2 note updated

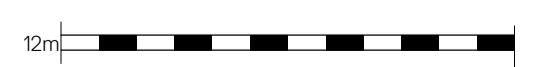
NOT FOR CONSTRUCTION

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MIXED-USE DEVELOPMENT  
 TOWN PLANNING  
 CBG ARCHITECTS & INTERIOR  
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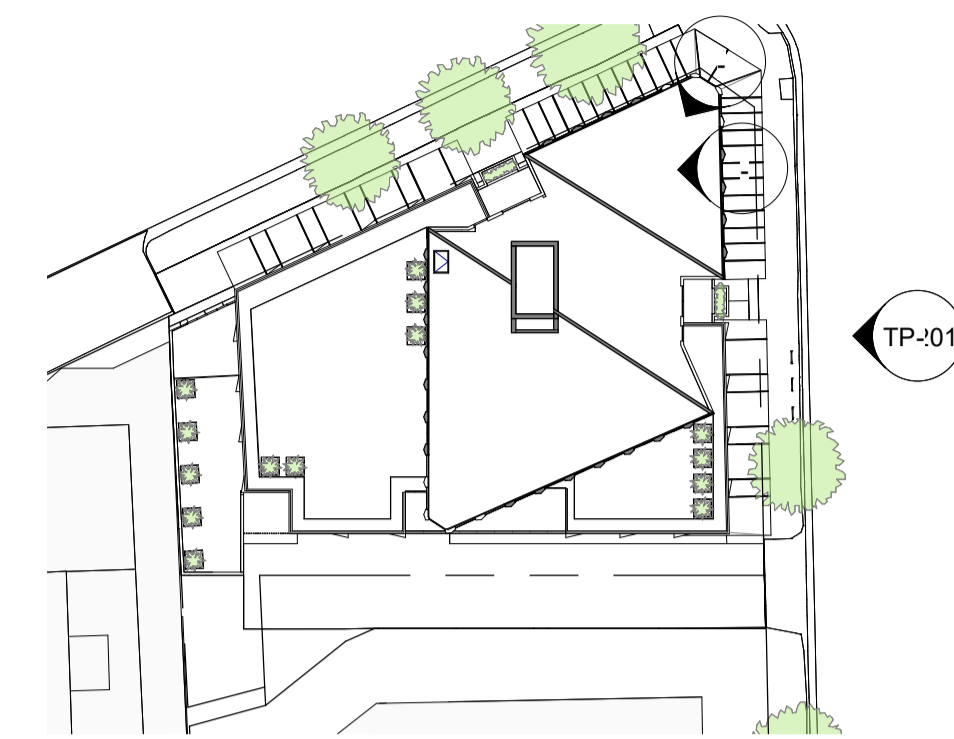
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DRAWING SCALE 1:200 @ A1  
 1:400 @ A3



14 ALMA ROAD ST KILDA, VIC	1910 TP200 - C
TOWN PLANNING	
EAST ELEVATION	





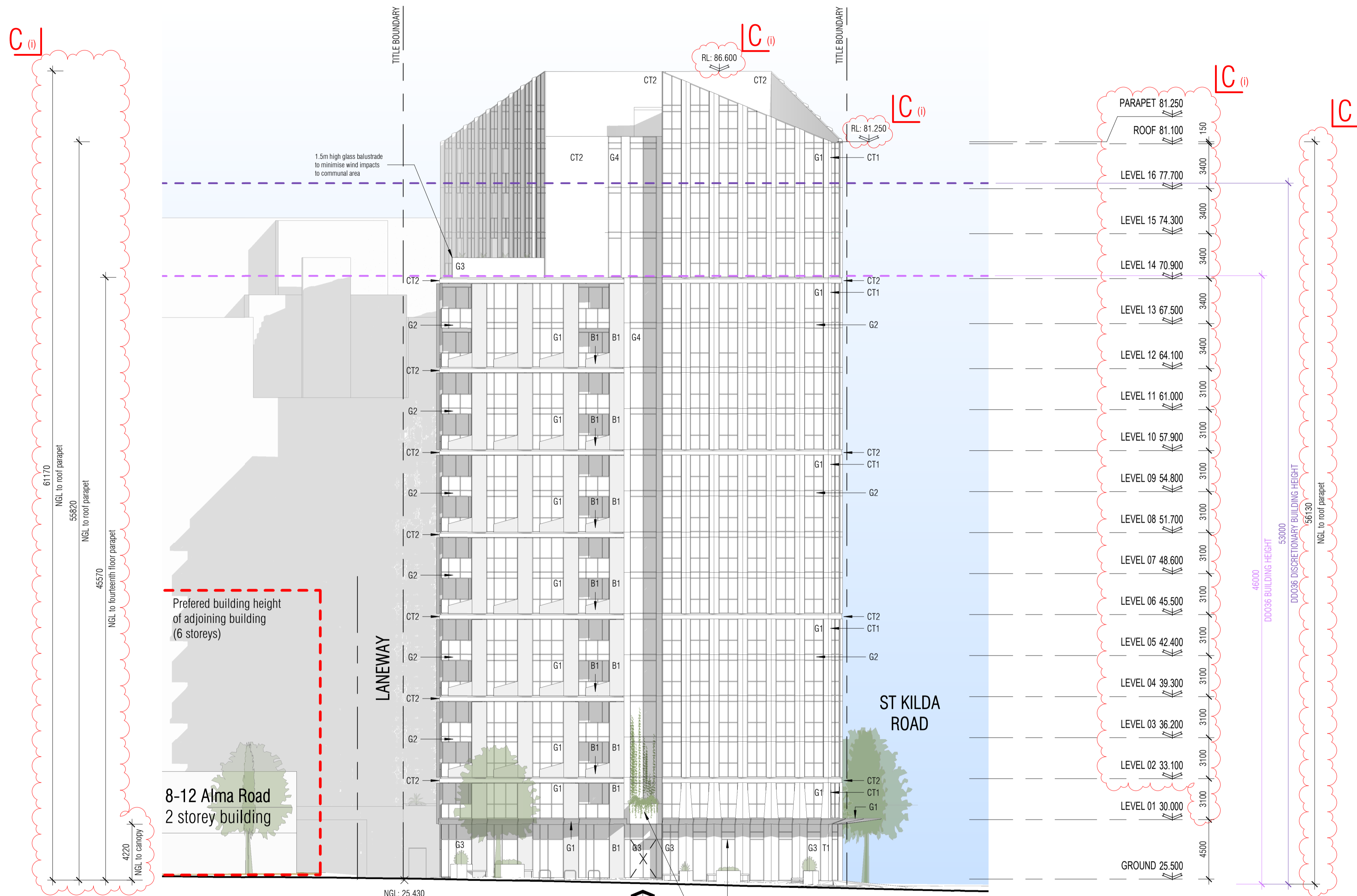
KEY PLAN

FINISHES LEGEND

- C (ii)** AR1 TEXTURE RENDER - charcoal/bronze
- B1 BRICK - muted tan
- CT1 BRIGHTON LITE CONCRETE (warm white colour) with Ecotone or similar penetrating stain to ensure finished colour consistency (vertical elements above canopy)
- CT2 CONCRETE (charcoal colour) with Ecotone or similar penetrating stain to ensure finished colour consistency
- C (iv)** G1 TINTED GLASS - warm silver grey (all glass unless otherwise specified)
- G2 COLOURBACK GLASS - silver grey (to slab edge and spandrels typically)
- G3 GLASS - clear (ground floor and communal areas typically)
- C (ii)** G4 GLASS - grey tint
- M1 METAL - dark bronze (Laneway garage doors and services doors)
- PC1 POWDERCOAT - dark bronze (window frames)
- T1 LARGE FORMAT PORCELAIN TILE - textured warm white (ground floor 'spire' vertical elements)

LIGHTING STRATEGY NOTES

- Proposal to have required street and laneway lighting to achieve safety, security, and allow for passive surveillance to these areas
- LED lighting to be incorporated into solid vertical elements to highlight verticality and form during evenings
- Lighting to be baffled away from proposed and adjoining residences, and be directed away from traffic flows



SOUTH ELEVATION - ALMA ROAD

REVISION DESCRIPTION	
(i)	Levels updated. Transitional form height decreased to match DDO36 building height. Corner RL reduced and featured architectural parapet amended to slope towards the centre of the site.
(ii)	Elevations updated: - Building mass articulation updated. Recesses introduced between 'spire' and transitional forms in response to Council comments (item D) - Facade materiality updated following Council comments. - Solid elements modules updated, horizontal elements introduced - Canopies updated
(iii)	Urban art and Landscape notes updated
(iv)	Materials CT1 and CT2 note updated

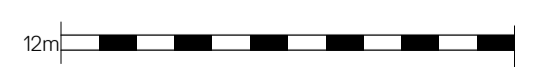
NOT FOR CONSTRUCTION

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MIXED-USE DEVELOPMENT  
TOWN PLANNING  
CBG ARCHITECTS & INTERIOR  
33 Tope Street, South Melbourne VIC 3205  
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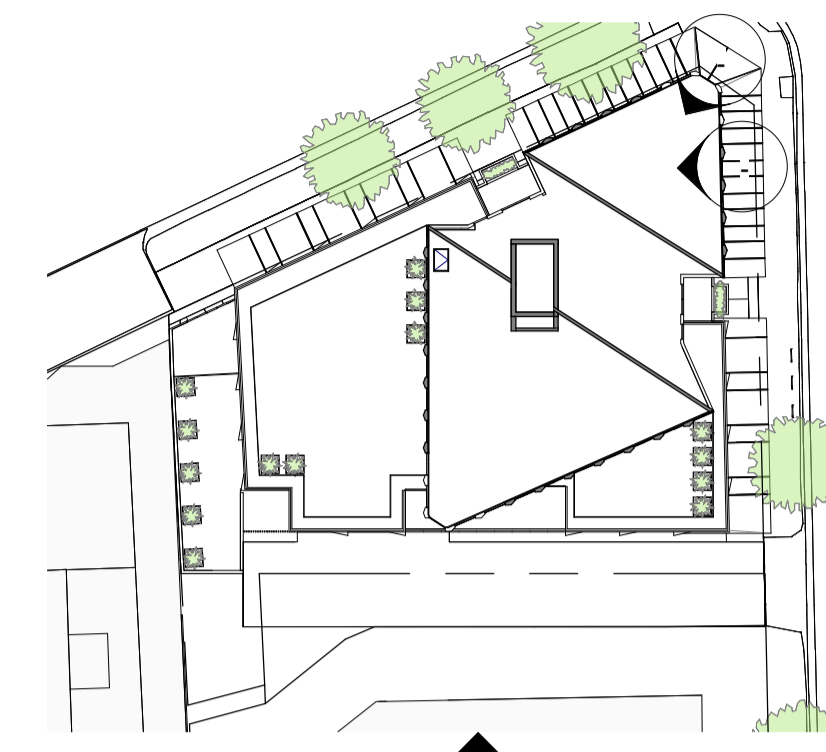
DRAWING SCALE 1:200 @ A1  
1:400 @ A3



1910
14 ALMA ROAD ST KILDA, VIC
TP201 - C
TOWN PLANNING
SOUTH ELEVATION

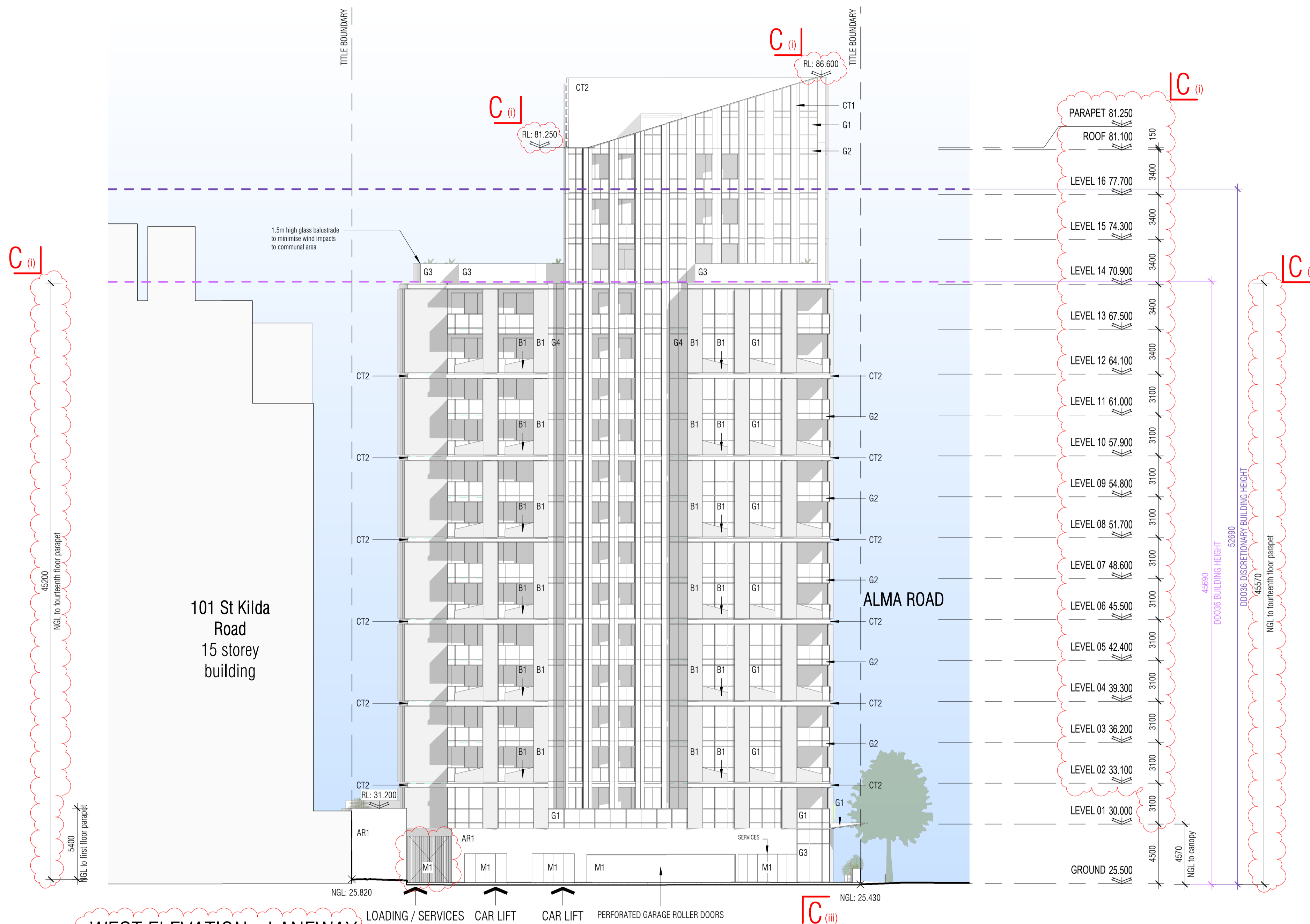






KEY PLAN

TP202



WEST ELEVATION - LANEWAY

REVISION DESCRIPTION	
(i)	Levels updated. Transitional form height decreased to match DDO36 building height. Corner RL reduced and featured architectural parapet amended to slope towards the centre of the site.
(ii)	Elevations updated: - Building mass articulation updated. Recesses introduced between 'spire' and transitional forms in response to Council comments (item D) - Facade materiality updated following Council comments. - Solid elements modules updated, horizontal elements introduced - Canopies updated
(iii)	Visual connection to laneway improved by wrapping glass corner, relocating services and 2 car spaces, increasing Apartment 104 balcony area (item C.3)
(iv)	Materials CT1 and CT2 note updated

NOT FOR CONSTRUCTION

REVISIONS	
A	07.12.20 ISSUE FOR TOWN PLANNING
B	01.09.21 Voluntary amendments + Additional information following Councils' comments
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MIXED-USE DEVELOPMENT  
 TOWN PLANNING  
 CBG ARCHITECTS & INTERIOR  
 33 Tope Street, South Melbourne VIC 3205  
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LEVEL	HEIGHT (RL)	INTERVAL
PARAPET	81.250	150
ROOF	81.100	3400
LEVEL 16	77.700	3400
LEVEL 15	74.300	3400
LEVEL 14	70.900	3400
LEVEL 13	67.500	3400
LEVEL 12	64.100	3400
LEVEL 11	61.000	3100
LEVEL 10	57.900	3100
LEVEL 09	54.800	3100
LEVEL 08	51.700	3100
LEVEL 07	48.600	3100
LEVEL 06	45.500	3100
LEVEL 05	42.400	3100
LEVEL 04	39.300	3100
LEVEL 03	36.200	3100
LEVEL 02	33.100	3100
LEVEL 01	30.000	3100
GROUND	25.500	4500

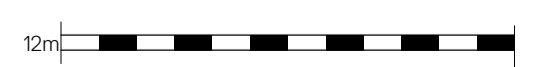
FINISHES LEGEND

- C(i)** AR1 TEXTURE RENDER - charcoal/bronze
- B1 BRICK - muted tan
- CT1 BRIGHTON LITE CONCRETE (warm white colour) with Ecotone or similar penetrating stain to ensure finished colour consistency (vertical elements above canopy)
- CT2 CONCRETE (charcoal colour) with Ecotone or similar penetrating stain to ensure finished colour consistency
- C(iv)** G1 TINTED GLASS - warm silver grey (all glass unless otherwise specified)
- G2 COLOURBACK GLASS - silver grey (to slab edge and spandrels typically)
- G3 GLASS - clear (ground floor and communal areas typically)
- C(ii)** G4 GLASS - grey tint
- M1 METAL - dark bronze (Laneway garage doors and services doors)
- PC1 POWDERCOAT - dark bronze (window frames)
- T1 LARGE FORMAT PORCELAIN TILE -textured warm white (ground floor 'spire' vertical elements)

LIGHTING STRATEGY NOTES

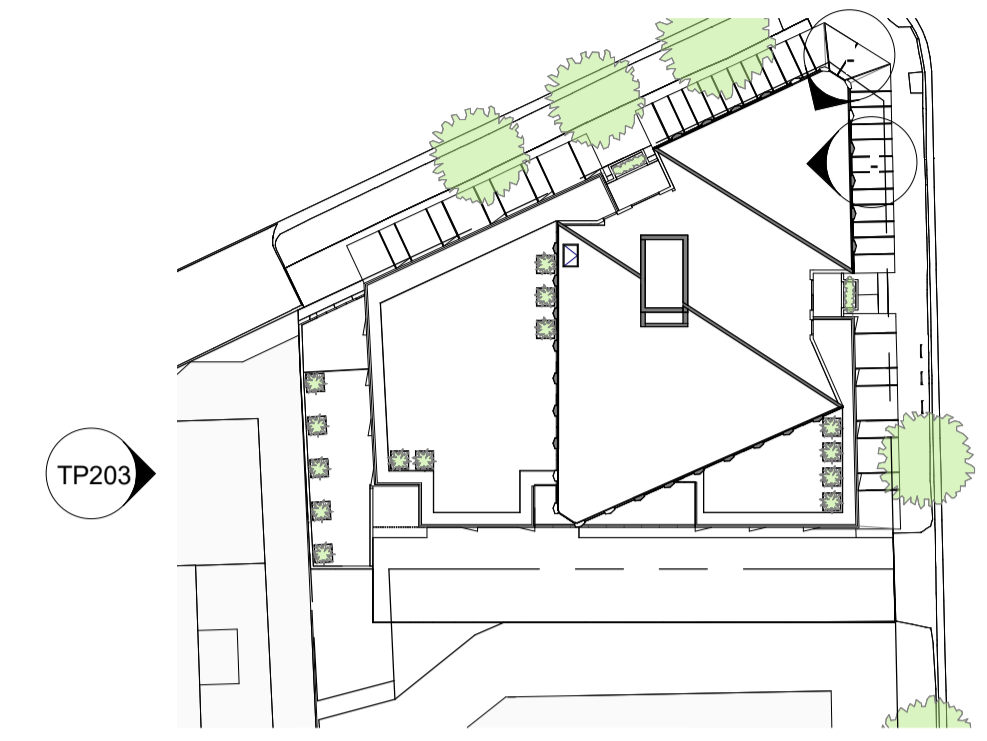
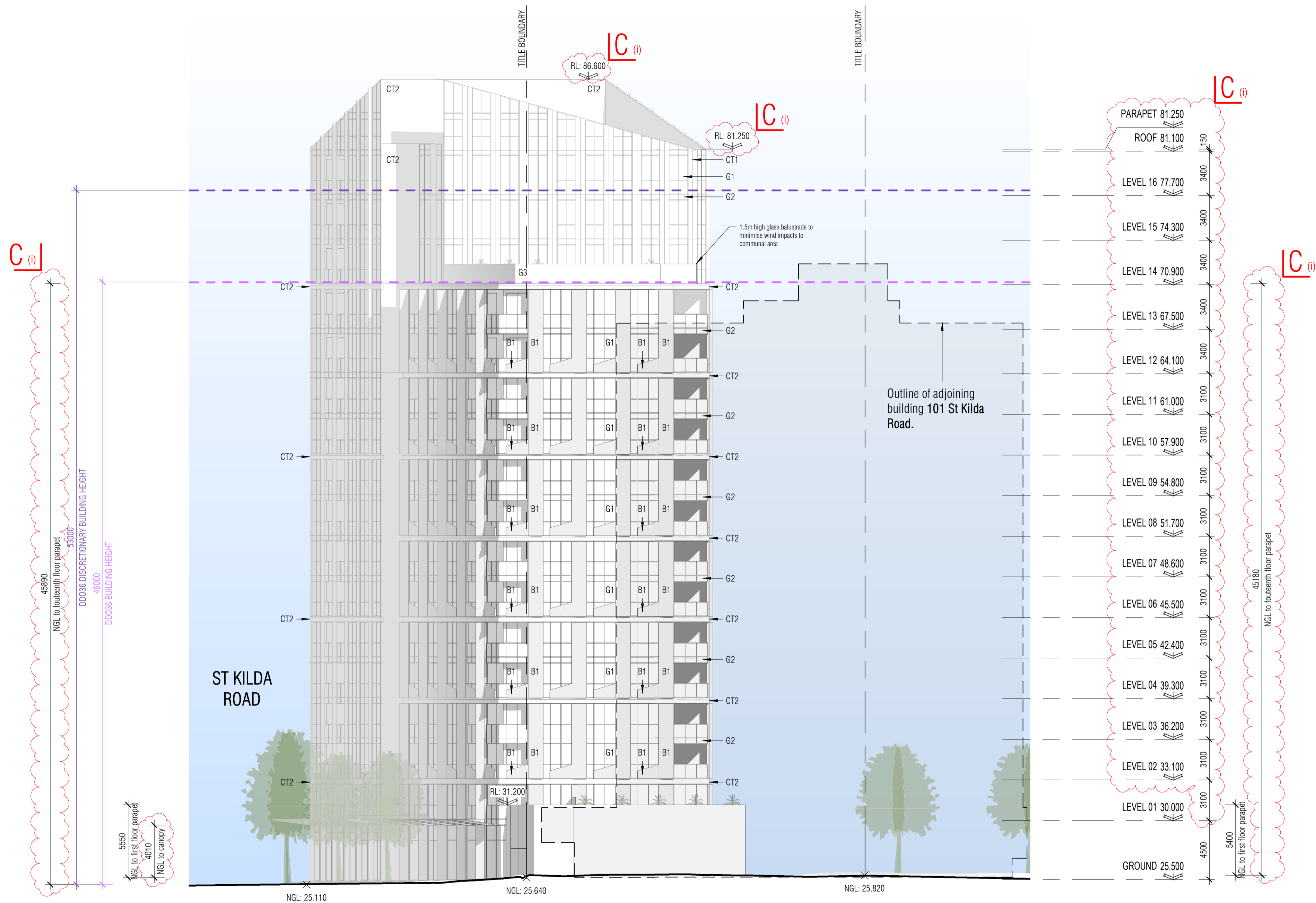
- Proposal to have required street and laneway lighting to achieve safety, security, and allow for passive surveillance to these areas
- LED lighting to be incorporated into solid vertical elements to highlight verticality and form during evenings
- Lighting to be baffled away from proposed and adjoining residences, and be directed away from traffic flows

DRAWING SCALE 1:200 @ A1  
 1:400 @ A3



1910
14 ALMA ROAD ST KILDA, VIC
TP202 - C
TOWN PLANNING
WEST ELEVATION





KEY PLAN

**FINISHES LEGEND**

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- PC1 POWDERCOAT - dark bronze (window frames)
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**LIGHTING STRATEGY NOTES**

- Proposal to have required street and laneway lighting to achieve safety, security, and allow for passive surveillance to these areas
- LED lighting to be incorporated into solid vertical elements to highlight verticality and form during evenings
- Lighting to be baffled away from proposed and adjoining residences, and be directed away from traffic flows

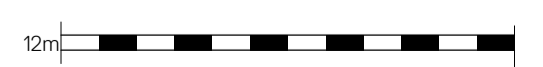
REVISION DESCRIPTION	
(i)	Levels updated. Transitional form height decreased to match DDO36 building height. Corner RL reduced and featured architectural parapet amended to slope towards the centre of the site.
(ii)	Elevations updated: - Building mass articulation updated. Recesses introduced between 'spire' and transitional forms in response to Council comments (item D) - Facade materiality updated following Council comments. - Solid elements modules updated, horizontal elements introduced - Canopies updated
(iii)	Materials CT1 and CT2 note updated

NOT FOR CONSTRUCTION

REVISIONS	
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**MIXED-USE DEVELOPMENT  
TOWN PLANNING**  
  
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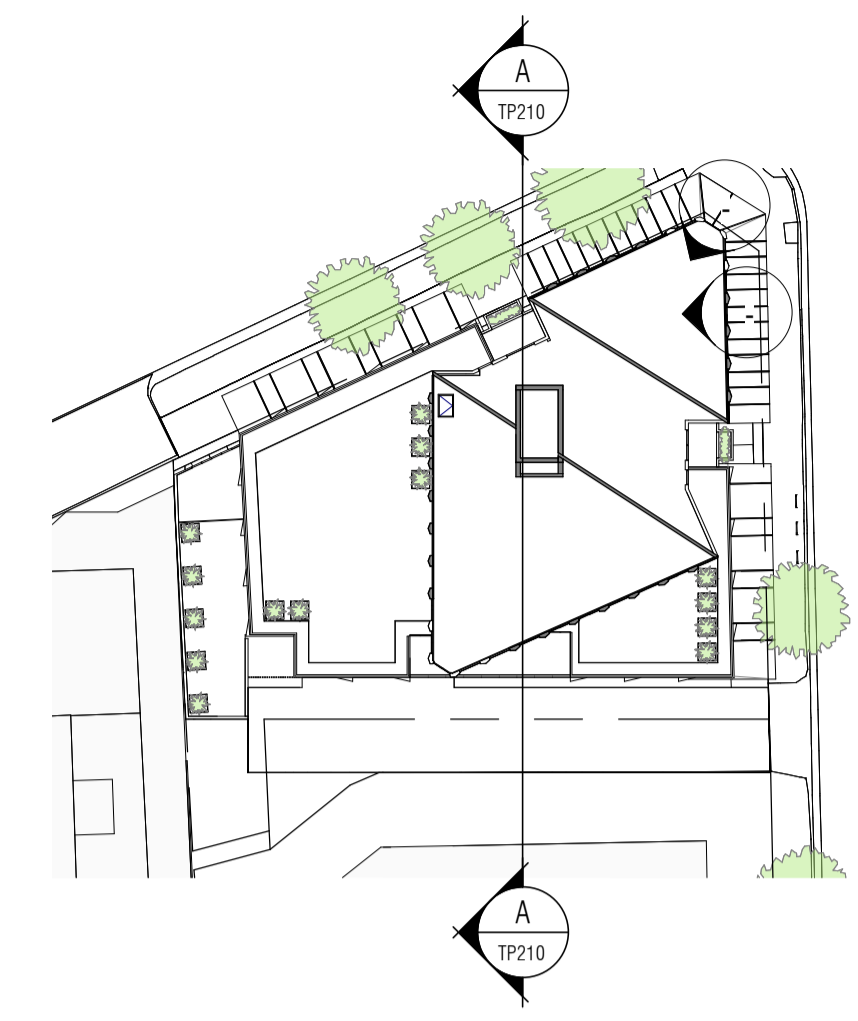
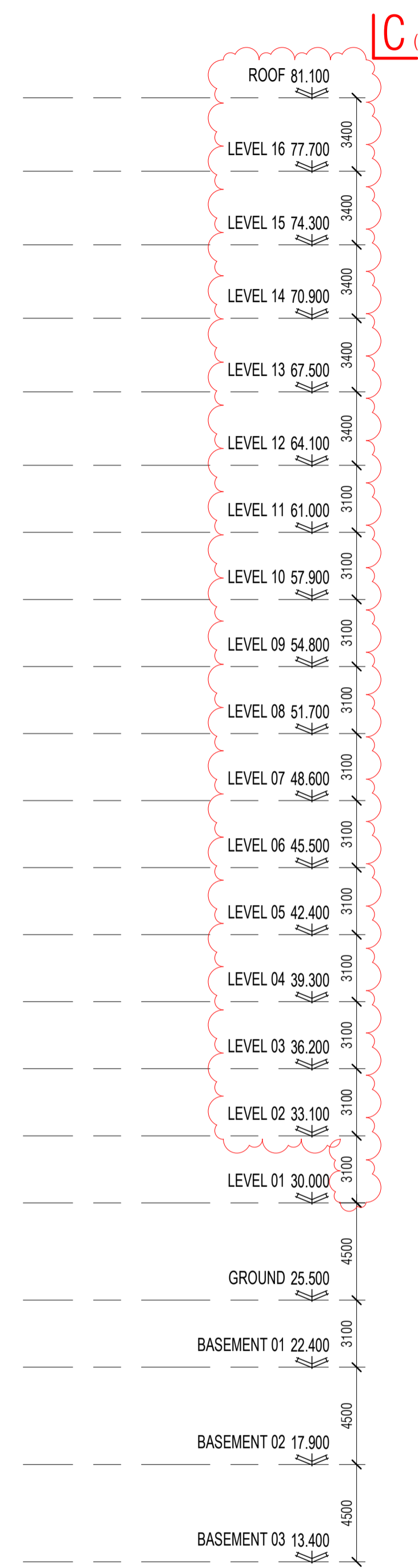
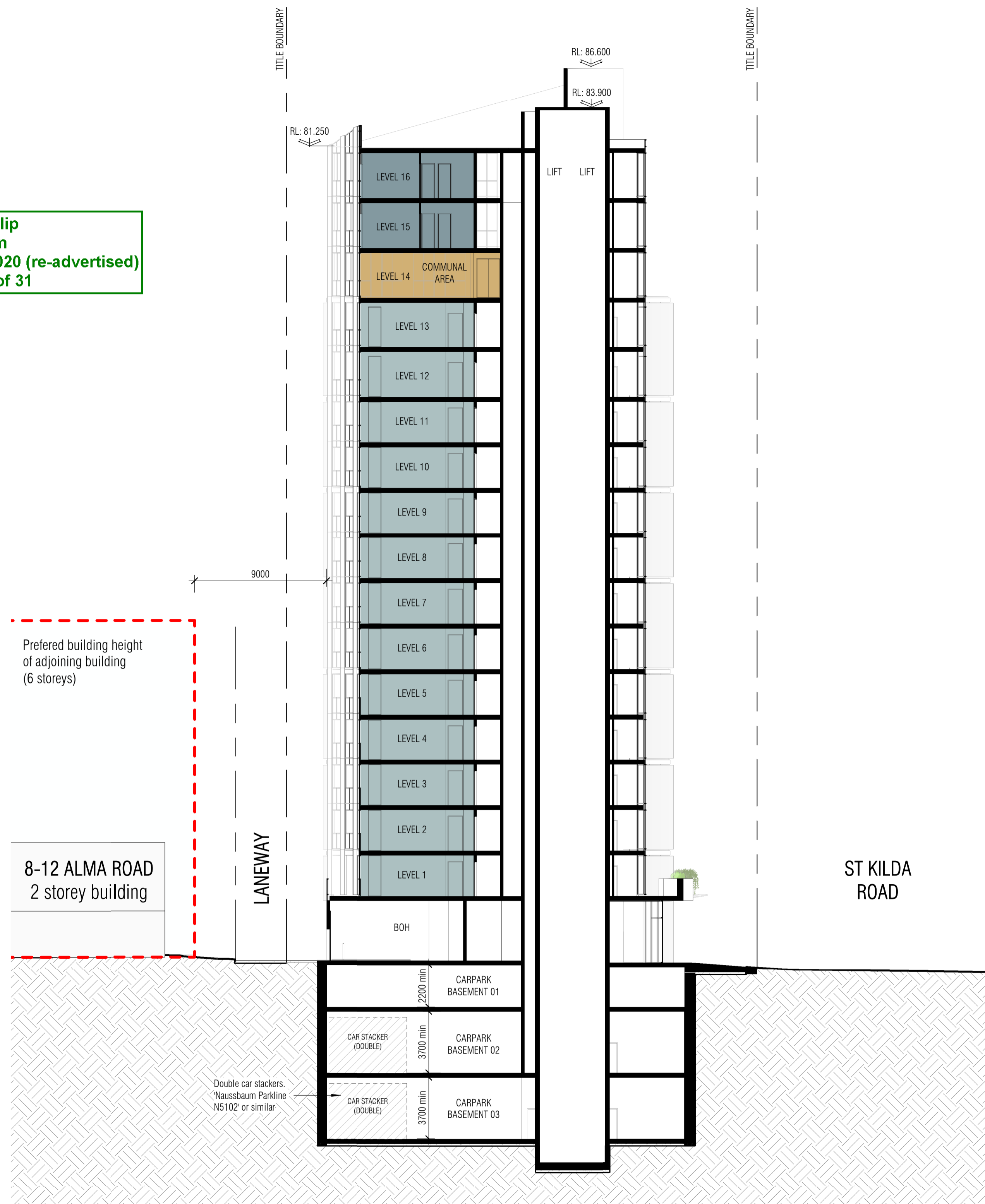
DRAWING SCALE 1:200 @ A1  
1:400 @ A3



14 ALMA ROAD ST KILDA, VIC	1910 TP203 - C
TOWN PLANNING	
NORTH ELEVATION	



City of Port Phillip  
Advertised Plan  
Planning Application No. 858/2020 (re-advertised)  
No. of Pages: 19 of 31



COLOUR LEGEND

- 1 Bedroom Apartment
- 2 Bedroom Apartment
- 3 Bedroom Apartment
- Communal Facilities
- Commercial
- Services
- Balcony / Terrace
- Internal Storage / Storage Cage

ROOM DEPTH NOTES  
(STANDARD D25)

Apartment notes as Clause 58.07-2 compliant:

Single aspect habitable rooms will not exceed a room depth of 2.5 times the ceiling height.

Open plan living rooms will achieve a minimum 2.7m high ceiling. All living areas are less than 9.0m to the back of the kitchen.

All bedroom ceilings will achieve a minimum 2.4m high ceilings (2.4x2.5 = 6.0 maximum room depth) Bedrooms depths are less than 6.0m including robe.

SECTION A

REVISION DESCRIPTION	
(i)	Levels updated. Transitional form height decreased to match DDO36 building height. Corner RL reduced and featured architectural parapet amended to slope towards the centre of the site.
(ii)	Sections updated: - Building mass articulation updated. Recesses introduced between 'spire' and transitional forms in response to Council comments (item D)

NOT FOR CONSTRUCTION

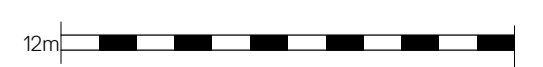
REVISIONS		
A	07.12.20	ISSUE FOR TOWN PLANNING
B	01.09.21	Voluntary amendments + Additional information following Councils' comments
	21.03.22	Voluntary amendments following Councils' comments (dated 20.10.21)
C	01.08.22	ISSUE FOR TOWN PLANNING

MIXED-USE DEVELOPMENT  
TOWN PLANNING

CBG ARCHITECTS & INTERIOR  
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DRAWING SCALE 1:200 @ A1  
1:400 @ A3



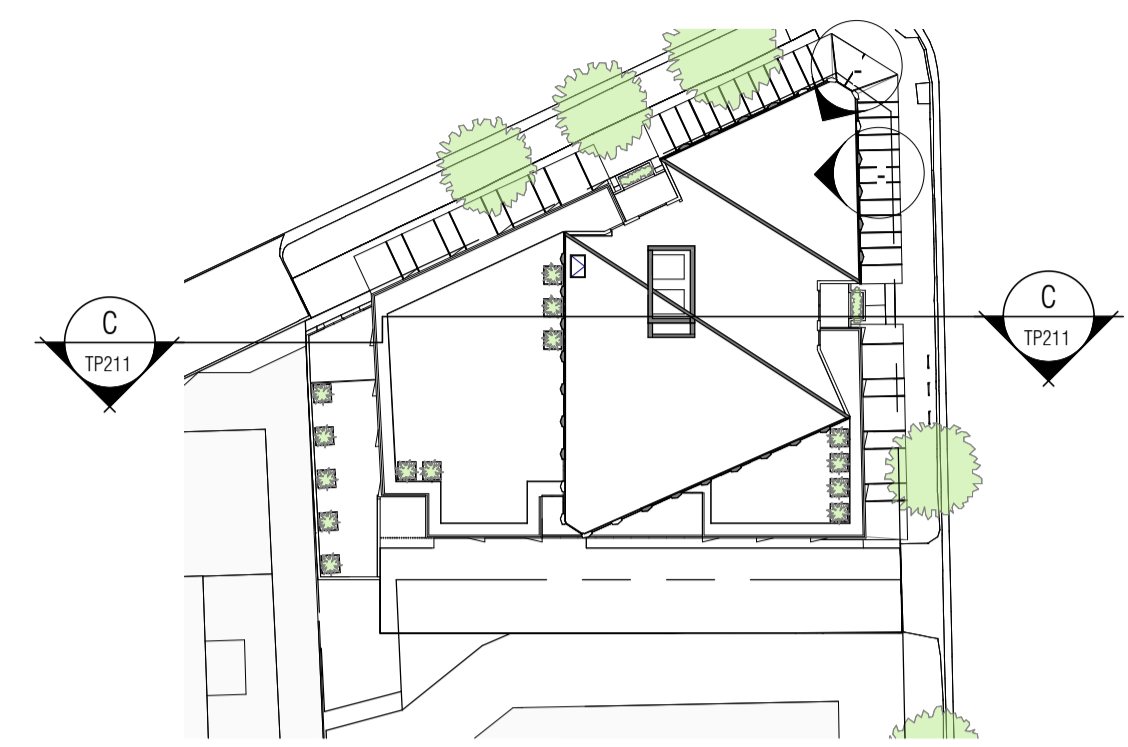
14 ALMA ROAD ST KILDA, VIC		1910
TOWN PLANNING		TP210 - C
SECTION		



City of Port Phillip  
 Advertised Plan  
 Planning Application No. 858/2020 (re-advertised)  
 No. of Pages: 20 of 31



ROOF	81.100
LEVEL 16	77.700
LEVEL 15	74.300
LEVEL 14	70.900
LEVEL 13	67.500
LEVEL 12	64.100
LEVEL 11	61.000
LEVEL 10	57.900
LEVEL 09	54.800
LEVEL 08	51.700
LEVEL 07	48.600
LEVEL 06	45.500
LEVEL 05	42.400
LEVEL 04	39.300
LEVEL 03	36.200
LEVEL 02	33.100
LEVEL 01	30.000
GROUND	25.500
BASEMENT 01	22.400
BASEMENT 02	17.900
BASEMENT 03	13.400



COLOUR LEGEND

- 1 Bedroom Apartment
- 2 Bedroom Apartment
- 3 Bedroom Apartment
- Communal Facilities
- Commercial
- Services
- Balcony / Terrace
- Internal Storage / Storage Cage

ROOM DEPTH NOTES  
 (STANDARD D25)

Apartment notes as Clause 58.07-2 compliant:

Single aspect habitable rooms will not exceed a room depth of 2.5 times the ceiling height.

Open plan living rooms will achieve a minimum 2.7m high ceiling. All living areas are less than 9.0m to the back of the kitchen.

All bedroom ceilings will achieve a minimum 2.4m high ceilings (2.4x2.5 = 6.0 maximum room depth) Bedrooms depths are less than 6.0m including robe.

C (ii)  
 SECTION B

REVISION DESCRIPTION	
(i)	Levels updated. Transitional form height decreased to match DDO36 building height. Corner RL reduced and featured architectural parapet amended to slope towards the centre of the site.
(ii)	Sections updated: - Building mass articulation updated. Recesses introduced between 'spire' and transitional forms in response to Council comments (item D) - Canopies updated

NOT FOR CONSTRUCTION

REVISIONS		
A	07.12.20	ISSUE FOR TOWN PLANNING
B	01.09.21	Voluntary amendments + Additional information following Councils' comments
	21.03.22	Voluntary amendments following Councils' comments (dated 20.10.21)
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MIXED-USE DEVELOPMENT  
 TOWN PLANNING

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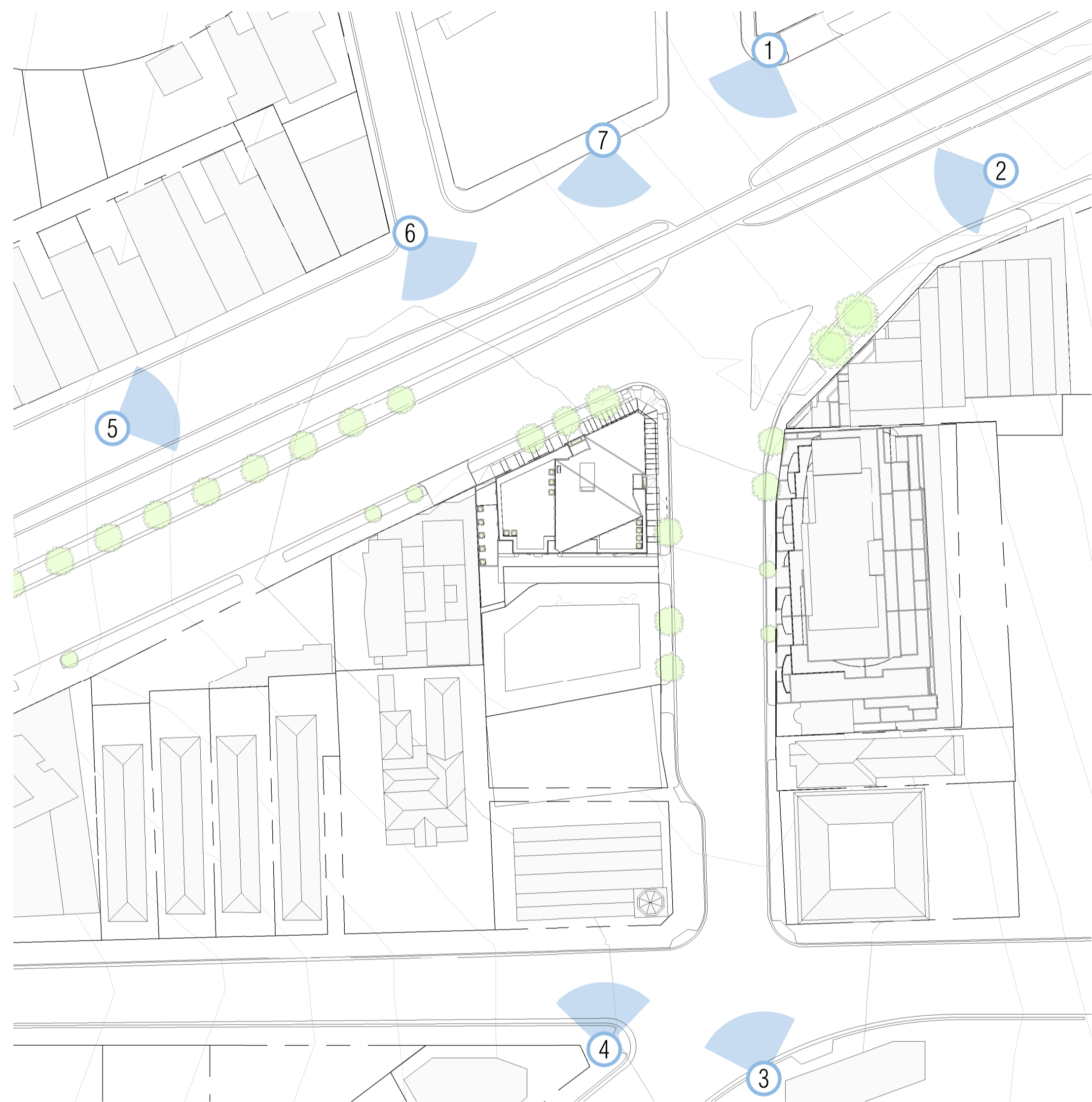
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 1:400 @ A3



14 ALMA ROAD ST KILDA, VIC	1910 TP211 - C
TOWN PLANNING	
SECTION	





C 01



1 VIEW FROM 158 ST. KILDA ROAD (PETROL STATION)

REVISION DESCRIPTION	
(i)	3D views updated following design changes

REVISIONS		
B	01.09.21	Voluntary amendments + Additional information following Councils' comments
	21.03.22	Voluntary amendments following Councils' comments (dated 20.10.21)
C	01.08.22	ISSUE FOR TOWN PLANNING

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MIXED-USE DEVELOPMENT  
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WHITE MODELS NOTE

All perspectives horizontal visual arc is set to 90 degrees. Eye elevation and target elevation are 1.7 metres high above vantage point ground level. Refer to TP900 for vantage point locations.

COLOUR LEGEND

- 46 metre building (13 storeys), in accordance with DD036
- 53 metre building (15 storeys), in accordance with DD036

DRAWING SCALE NA



14 ALMA ROAD ST KILDA, VIC	1910
TP900 - C	
TOWN PLANNING	
INDICATIVE WHITE MODELS	

