

URBAN CONTEXT REPORT AND DESIGN RESPONSE

95 ST KILDA ROAD

ST KILDA

City of Port Phillip
Advertised Document
Planning Application No. 00786/2022
No. of Pages: 1 of 46

CLIENT

Gamuda Land

CONSULTANTS

Architect	Bayley Ward
Planner	Tract
Landscape Design	Tract
ESD	Hip V Hype
Building Services	ADP
Structure & Civil Engineer	Webber Design
Traffic	One Mile Grid
Waste	One Mile Grid
Acoustic Engineer	Octave Acoustics
Wind Engineer	Vipac

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Advertised Document
Planning Application No. 00786/2022
No. of Pages: 2 of 46

Contents

1.0 Design Principles	5 - 9
2.0 Site Analysis	10 - 20
3.0 Design Response	21 - 39
4.0 Perspectives	40 - 44
5.0 Appendix	45 - 47

City of Port Phillip
Advertised Document
Planning Application No. 00786/2022
No. of Pages: 3 of 46

Acknowledgement of Country

We acknowledge the Wurundjeri Woi Wurrung and Boon Wurrung people of the Eastern Kulin nation on whose unceded lands we work and create.

We also acknowledge the traditional custodians throughout Aboriginal and Torres Strait Islander lands where our projects are placed. We recognise their ongoing connection to Country, land and waters and pay our respects to their Ancestors and Elders, past and present.

**City of Port Phillip
Advertised Document
Planning Application No. 00786/2022
No. of Pages: 4 of 46**

1.0

DESIGN PRINCIPLES

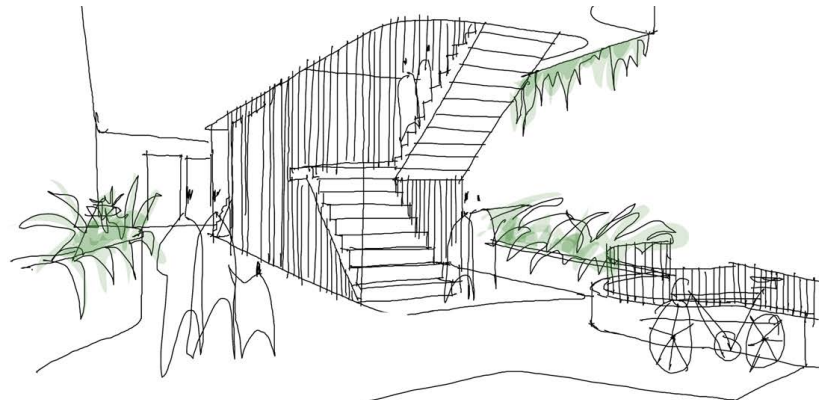
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Advertised Document
Planning Application No. 00786/2022
No. of Pages: 5 of 46

1.0 Design Principles

1.1 Community

- _ People centric design
- _ Shared spaces on every floor, giving residents the chance to meet their neighbours
- _ Gathering places throughout

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Planning Application No. 00786/2022
No. of Pages: 6 of 46**

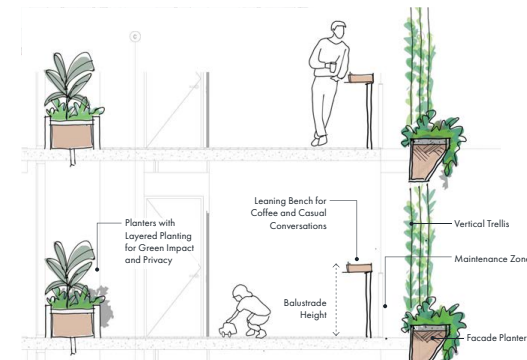


1.0 Design Principles

1.2 Landscape

- _Biophilic facade
- _Rooftop garden beds
- _Sheltered outdoor areas
- _Local flora

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Planning Application No. 00786/2022
No. of Pages: 7 of 46**

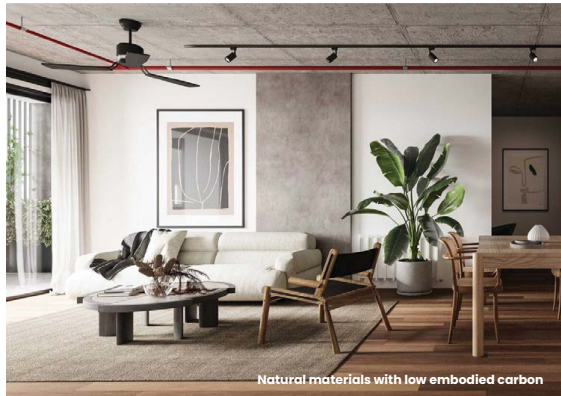


1.0 Design Principles

1.3 Sustainability

- _ Community spaces
- _ Wellbeing
- _ Reducing urban heat island effect
- _ Biophilic design
- _ High performance building to reduce energy consumption and therefore operational carbon

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Planning Application No. 00786/2022
No. of Pages: 8 of 46**



1.0 Design Principles

1.4 Designing with Country

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Advertised Document
Planning Application No. 00786/2022
No. of Pages: 9 of 46**

The Bunurong Corroboree Tree or Ngargee Tree is nestled within a tiny sanctuary of native vegetation in the Fitzroy Street end of Albert park. This giant red gum tree is between 300 and 500 years old and served as a Gathering Place for the Bunurong people to meet and congregate. The Ngargee tree was one of many Gathering Places within the region. Gathering Places were spaces for elders of neighbouring clans to meet and remain important in connecting communities and creating a sense of belonging.

"St. Kilda was known to the Yalukit Willam clan of the Boon Wurrung people as 'Euro-Yroke'. Euro-Yroke, meaning the 'grinding stone place', describes the red brown sandstone found in outcropping spurs and ridges along the beach of St. Kilda. The sandstone was used as a master stone to sharpen axes, a highly valued tool used by the Aboriginal people."

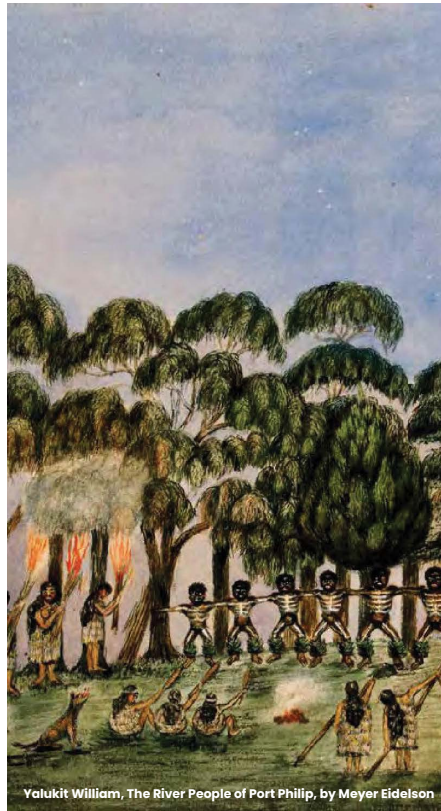
Yalukit William, The River People of Port Phillip, by Meyer Eidelson



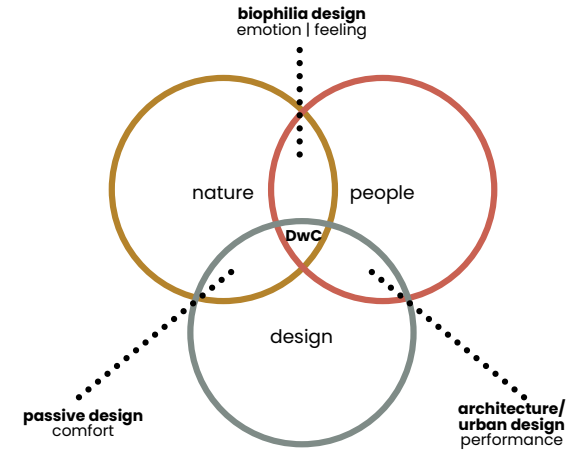
Sandstone outcropping spurs, Port Phillip Bay



Ngargee Tree, Albert Park



Yalukit William, The River People of Port Phillip, by Meyer Eidelson



Nature, people and design are three essential elements of designing with Country. These elements form relationships that offer different design approaches:

- Architecture considers design and people
- Passive design considers design and nature.
- Biophilic design considers the innate relationship between people and nature.

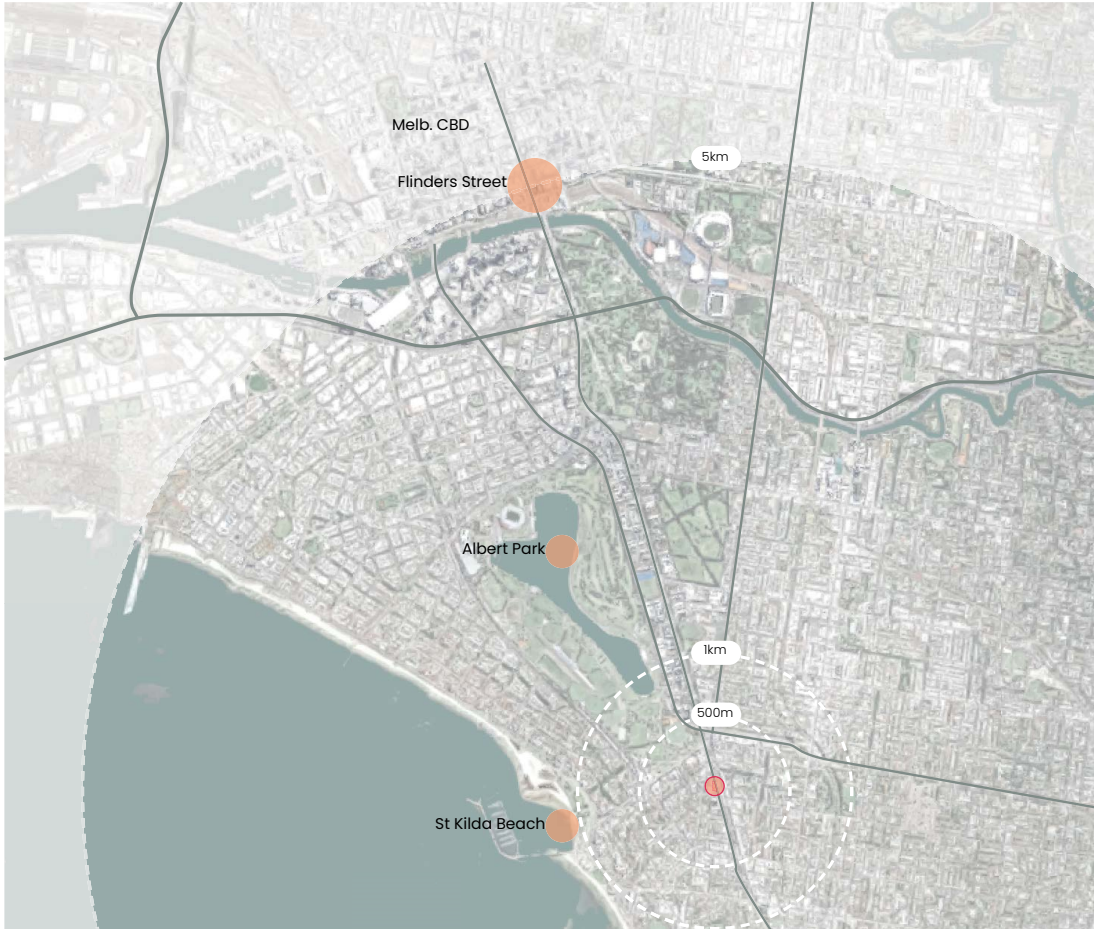
Designing With Country, by the Government Architect New South Wales

2.0

SITE ANALYSIS

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Planning Application No. 00786/2022
No. of Pages: 10 of 46

2.1 Site location



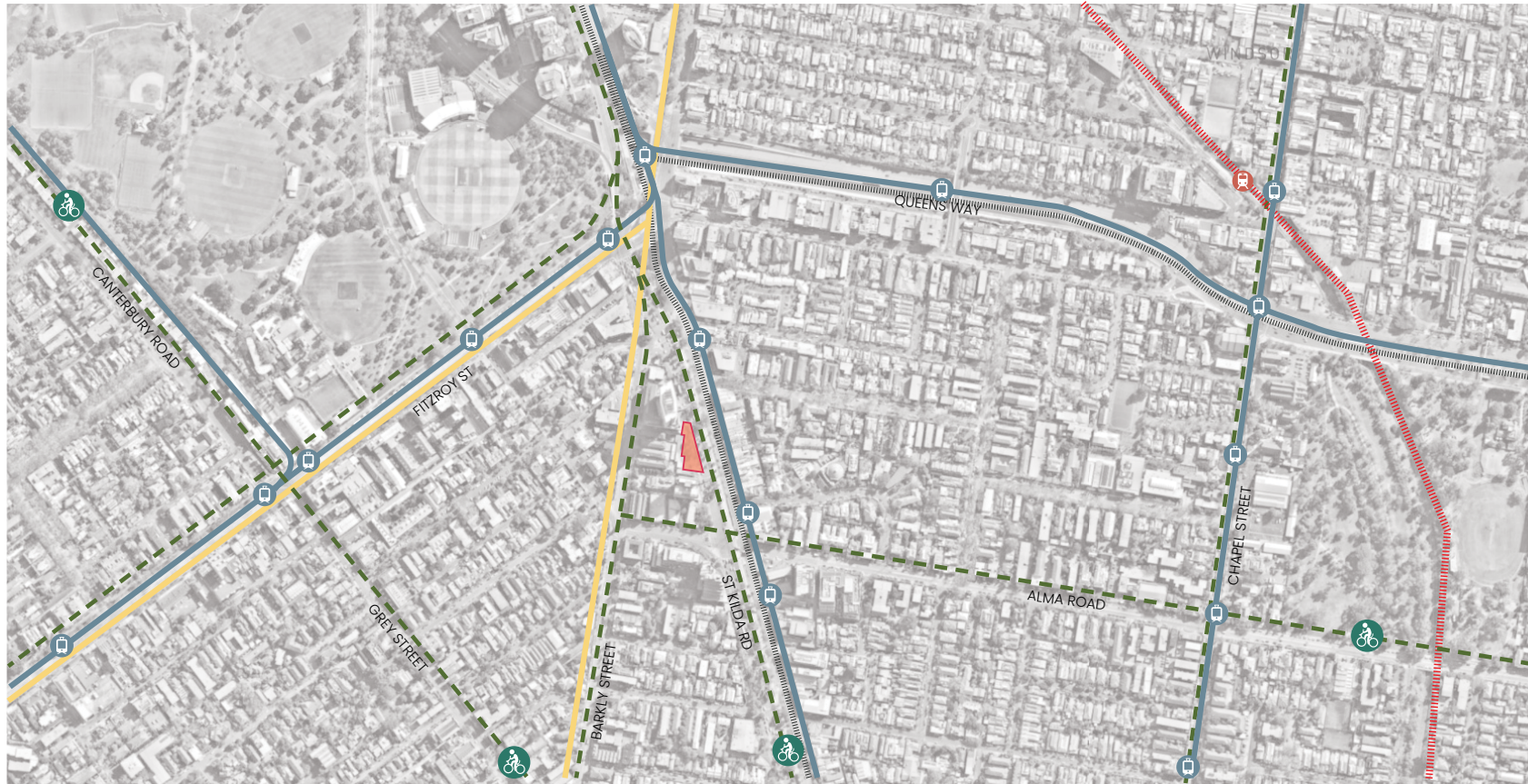
The site is located within 5km of the Melbourne CBD and minutes away from Albert Park and the St Kilda beach.

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 Planning Application No. 00786/2022
 No. of Pages: 11 of 46**

- KEY
- Site
 - Key Locations
 - Major Road Network



2.2 Public transport



KEY

- Bus Route
- - - Railway Line
- Tram Route
- Cycle Path
- - - Major Road

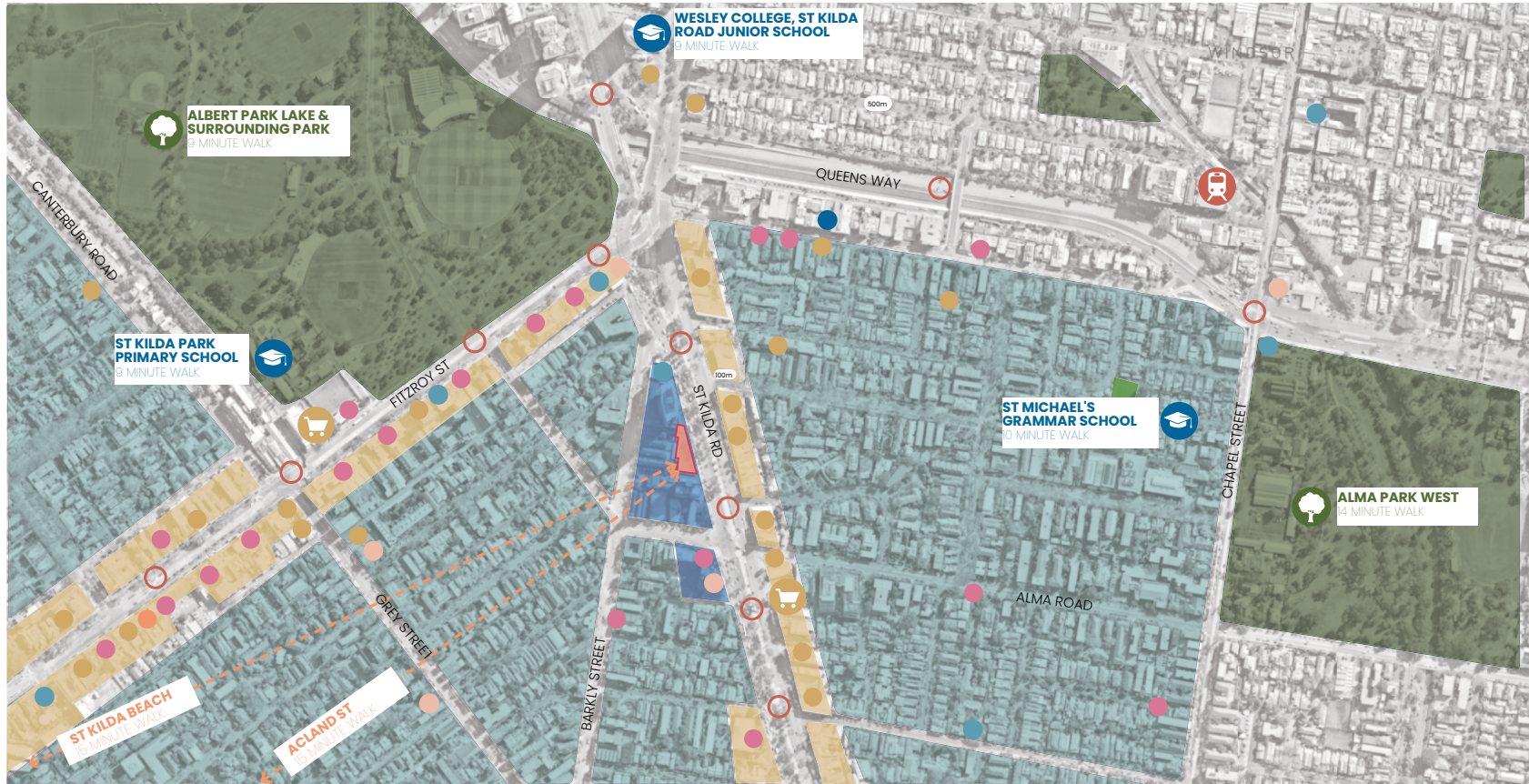
At the crossroads of Fitzroy St and St Kilda Rd, this site is well connected to various forms of sustainable transport, with several tram stops within walking distance.

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Planning Application No. 00786/2022
No. of Pages: 12 of 46**



2.3 St Kilda - Amenities, Activities, Icons

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 Planning Application No. 00786/2022
 No. of Pages: 13 of 46



KEY

- Site
- Community Hub
- Commercial
- Ⓜ Public Transport Stops
- Fitness
- Residential
- Public Park
- Healthcare
- Parks & Gardens
- Shopping
- Education
- Mixed Use
- Ⓜ Dining

With beautiful parks, residential pockets and vibrant retail shops around, this neighbourhood is thriving.

Neighbourhood developments



- (A) ONE ST KILDA JUNCTION 28 STORIES
- (B) THE ICON 2-6 ST KILDA RD 18 STORIES 56m
- (C) 36 ST KILDA RD MID RISE 33m
- (D) ALLURE 11 WELLINGTON ST 8 STORIES
- (E) 35W 35 WELLINGTON ST 5 STORIES
- (F) OCTAVIA 46 ST KILDA RD 6 STORIES 18m
- (G) THE CHARNWOOD 54-60 ST KILDA RD 9 STORIES 34m
- (H) 181 FITZROY ST 10 STORIES 38m
- (I) HOLLY 55 WELLINGTON ST 6 STORIES
- (J) THE MARC 2 PRINCES ST 4 STORIES
- (K) STK APARTMENTS 3-5 ST KILDA RD 29 STORIES 81m
- (L) ASCENT 101 ST KILDA RD 15 STORIES
- (M) 5 ALMA RD 8 STORIES
- (N) 181-185 ST KILDA RD 13 STORIES
- (O) MERIDIAN 25 ALMA RD 10 STORIES

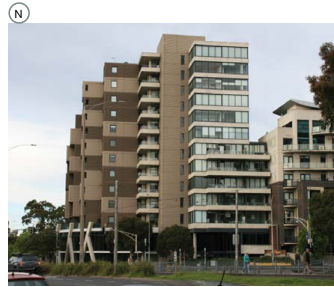
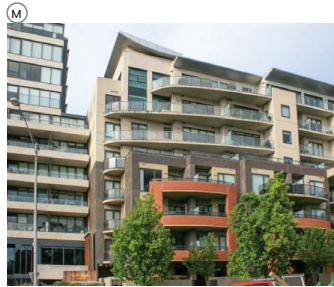
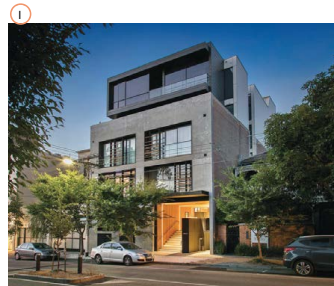
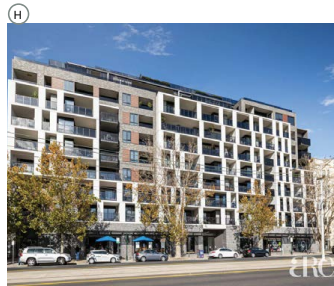
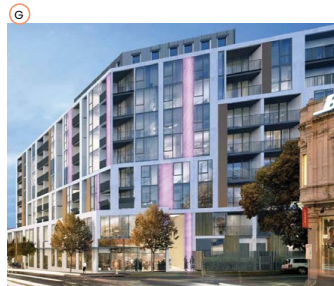
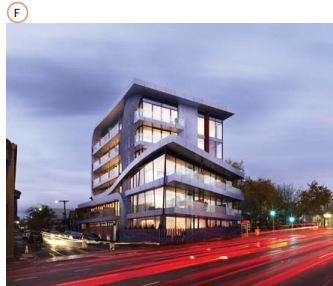
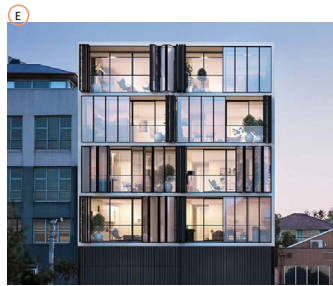
KEY

- Site
- Built
- Development

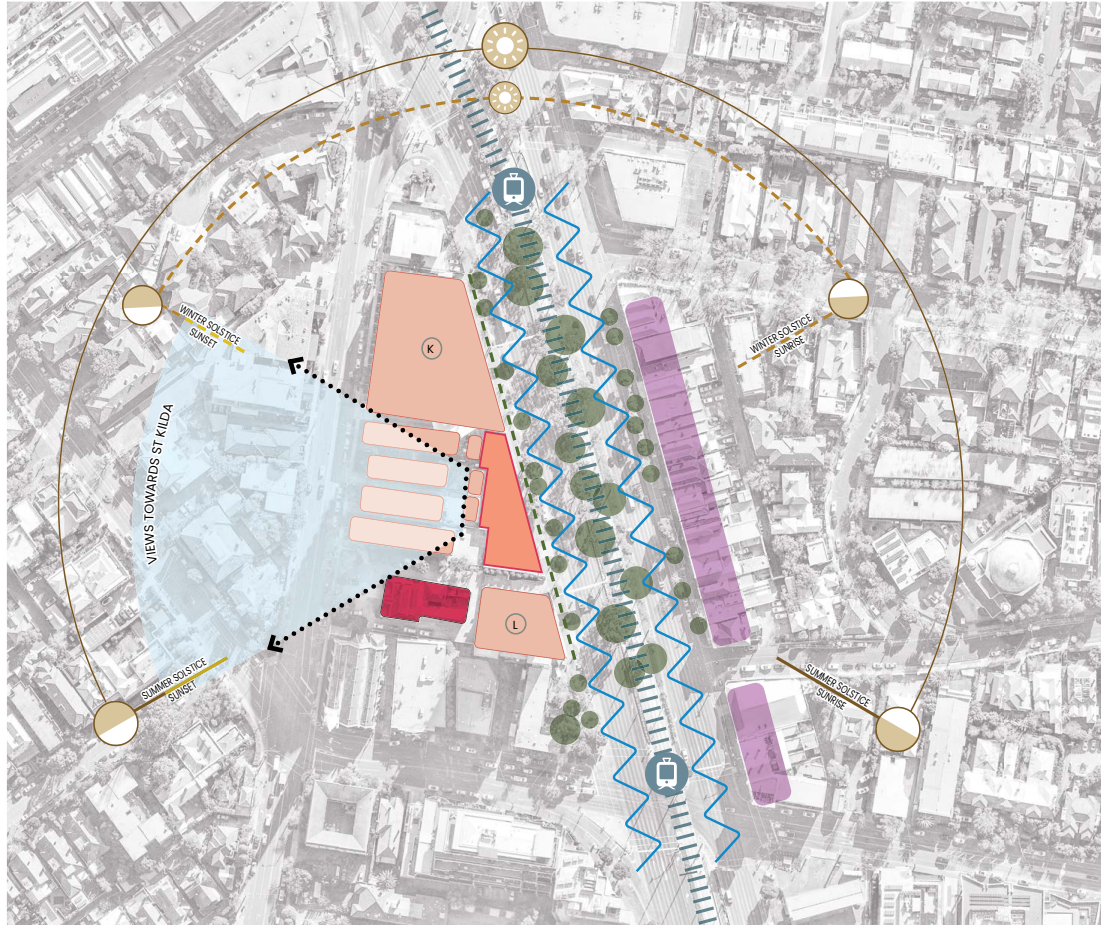
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Advertised Document
Planning Application No. 00786/2022
No. of Pages: 14 of 46

Neighbourhood developments

City of Port Phillip
Advertised Document
Planning Application No. 00786/2022
No. of Pages: 15 of 46



Immediate Surroundings



**City of Port Phillip
 Advertised Document
 Planning Application No. 00786/2022
 No. of Pages: 16 of 46**

_ The site is a narrow triangle, with exposed facade boundaries to the East and the West.

_ The East boundary faces St Kilda Rd, which poses acoustic challenges, but benefits from the morning sun.

_ The West boundary offers the unique advantage of uninterrupted views towards Port Phillip Bay, but needs to be protected from the low afternoon sun.

_ It is also sandwiched by 2 high-rise developments, to the North and South, rising up 29 and 15 stories respectively.

- (K) STK APARTMENTS 3-5 ST KILDA RD 29 STORIES 81m
- (L) ASCENT 101 ST KILDA RD 15 STORIES

KEY

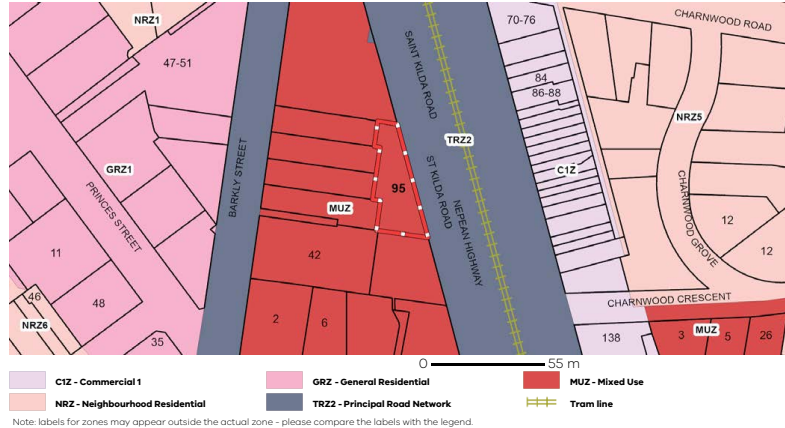
- Site Boundary
- Neighboring Buildings
- ~ Noise
- ▤ Transport Route
- ⊙ Tram Stop
- - - Pedestrian Access
- Tree Planting
- Commercial Frontage
- Historical Building



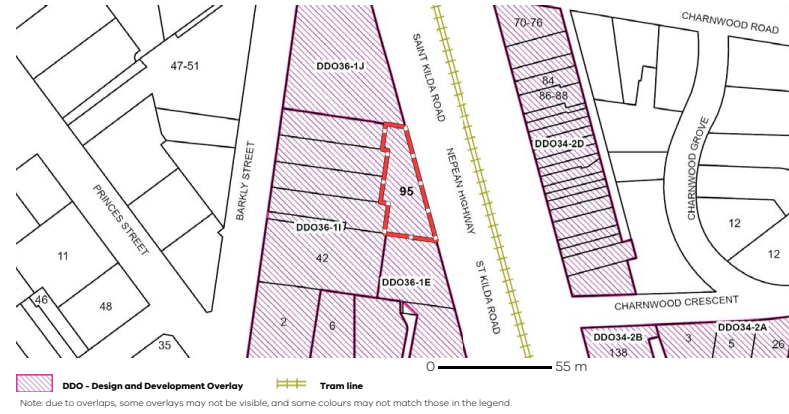
2.0 Site Analysis

Planning Framework

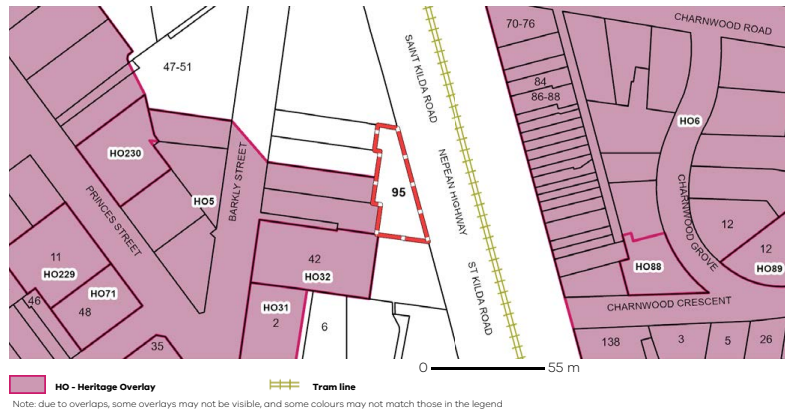
1. MIXED USE ZONE (MUZ)
SCHEDULE TO THE MIXED USE ZONE (MUZ)



2. DESIGN AND DEVELOPMENT OVERLAY (DDO)
DESIGN AND DEVELOPMENT OVERLAY - SCHEDULE 36 1E (DDO36-1E)



3. HERITAGE OVERLAY (HO)



**City of Port Phillip
 Advertised Document
 Planning Application No. 00786/2022
 No. of Pages: 17 of 46**

2.0 Site Analysis

Building Mass in Context

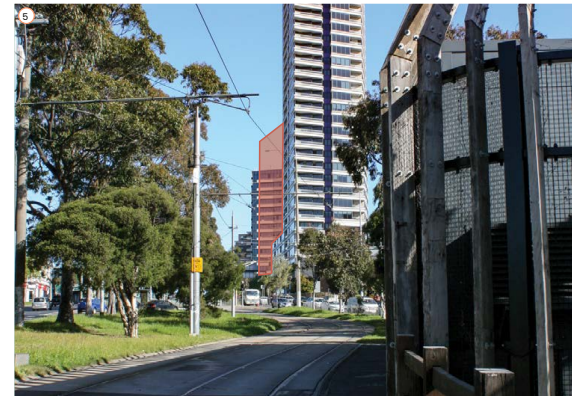


Indicative building outline in relation to surrounding context.

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 Advertised Document
 Planning Application No. 00786/2022
 No. of Pages: 18 of 46



View from Albert Park Lake



Site Photos



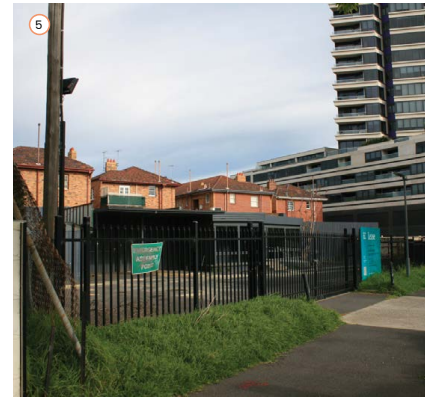
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Planning Application No. 00786/2022
No. of Pages: 19 of 46



SUBJECT SITE



SUBJECT SITE



3.0

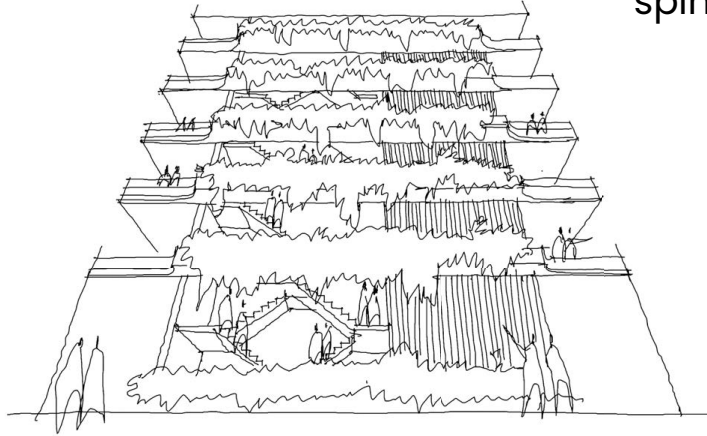
DESIGN RESPONSE

City of Port Phillip
Advertised Document
Planning Application No. 00786/2022
No. of Pages: 20 of 46

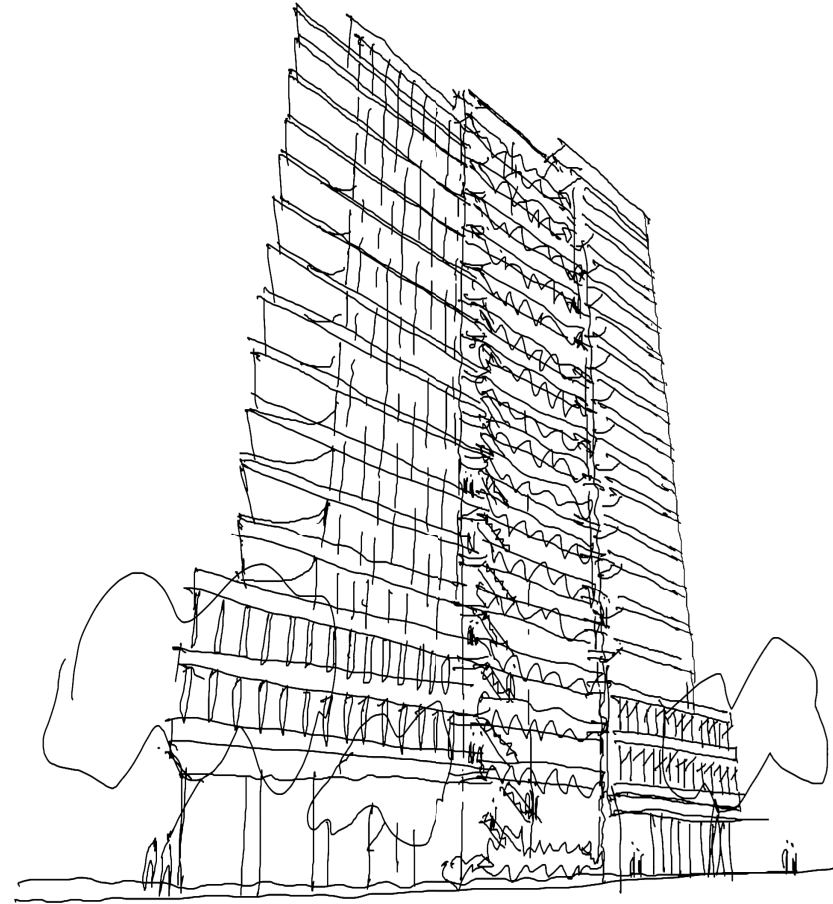
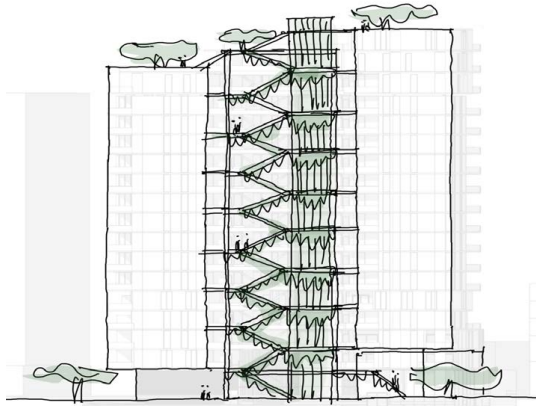
3.0 Design Response

3.1 Concept

A living breathing building with a green vertical spine, connecting residents from ground floor to a communal landscaped rooftop garden.

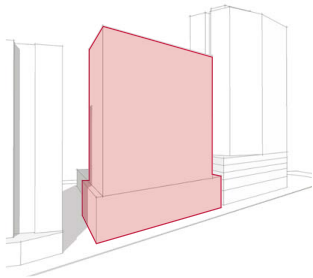


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Advertised Document
Planning Application No. 00786/2022
No. of Pages: 21 of 46



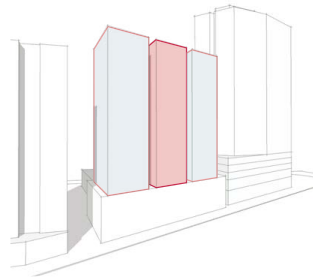
3.2 Massing Strategy

City of Port Phillip
 Advertised Document
 Planning Application No. 00786/2022
 No. of Pages: 22 of 46



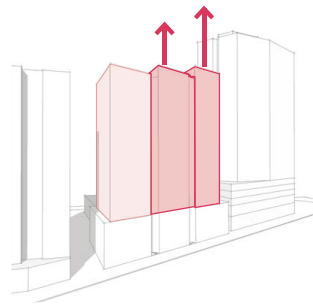
INITIAL RESPONSE

The split tower form is lifted from the ground with a maximum height of 61m.



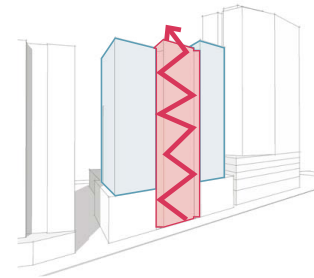
TOWER CORE

Placement of the core on the eastern edge allows the core to act as a buffer to busy St. Kilda Road whilst optimising views to the west.



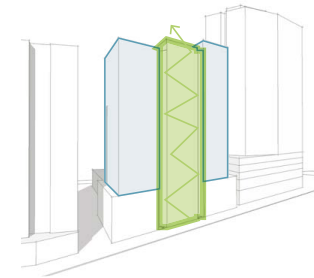
STEPPING FORM

Increasing the height of the centre and northern volume creates a stepping roof profile. This creates opportunity for terracing roof gardens, and allows for a visual transition between neighbouring forms.



VERTICAL CIRCULATION

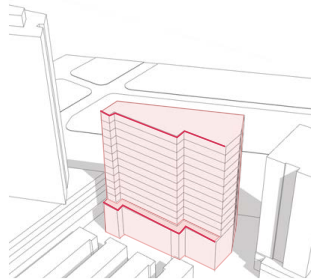
Placement of the circulation stairs on the eastern edge creates a sense of activation to St. Kilda Road whilst providing an ease of connectivity, for residents, between floors.



GREEN SPINE

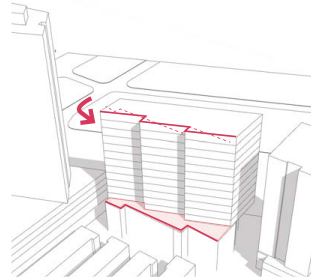
Integration of landscape to this circulation zone brings a sense of life to the spaces whilst enhancing air quality and experience.

3.2 Massing Strategy



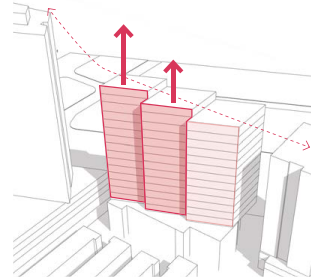
INITIAL RESPONSE

Equitable development wall on boundary to 4 levels, with parallel setback to boundary above.



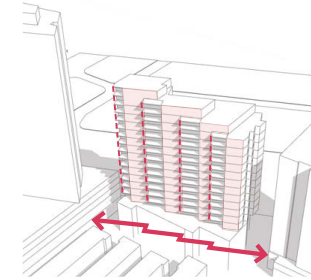
REORIENTATION

Reorientating the building grid to be parallel with St Kilda Road. Staggering arrangement reduces heat gain from Western sun and opens views up towards the bay.



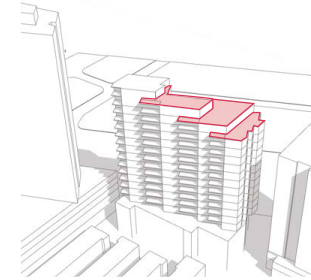
STEPPING FORM

Increasing the height of the centre and northern volume creates a stepping roof profile. This creates opportunity for terracing roof gardens.



VERTICAL ARTICULATION

Balconies are arranged to create privacy between residences.



ROOFTOPS

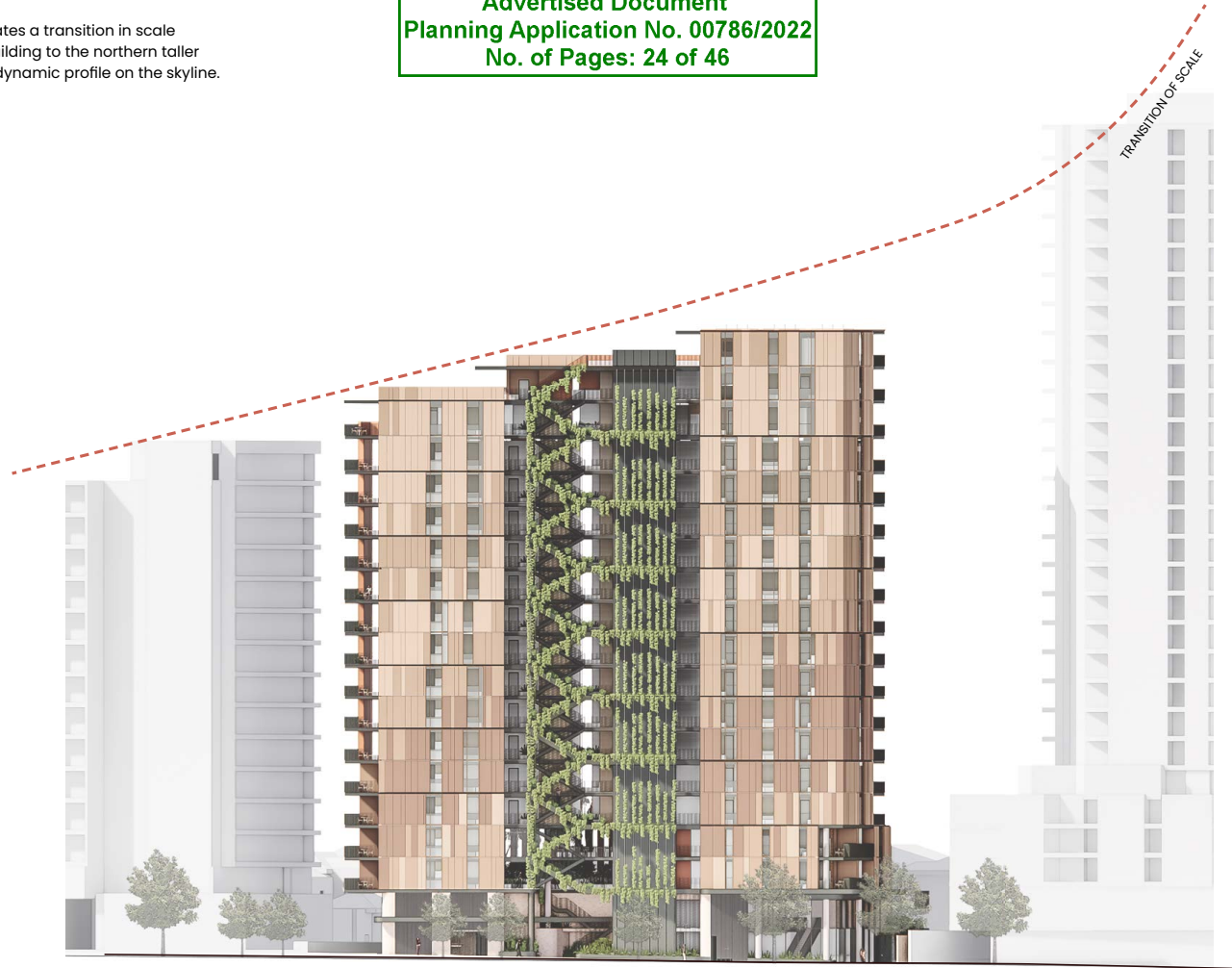
The stepping rooftop terraces offer generous planting, reducing heat island effect and providing quality spaces.

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Advertised Document
Planning Application No. 00786/2022
No. of Pages: 23 of 46**

3.2 Massing Strategy

The stepped roof form creates a transition in scale from the southern lower building to the northern taller building, whilst creating a dynamic profile on the skyline.

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Advertised Document
Planning Application No. 00786/2022
No. of Pages: 24 of 46



3.0 Design Response

3.3 Network of Gathering Spaces

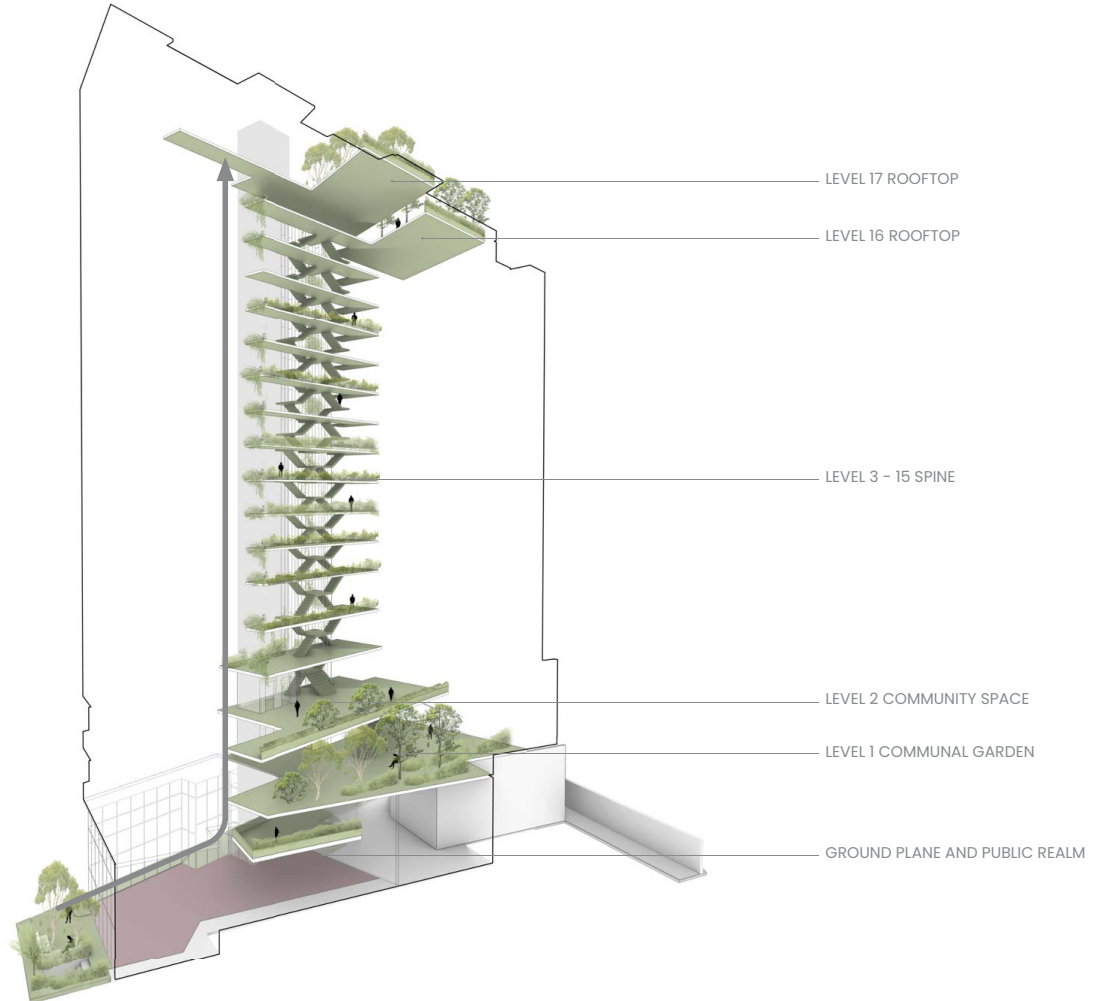
Echoing the Bunurong people gathering at Ngargee Tree, the project is designed around the idea of gathering for residents. There are public spaces on ground floor, quiet gardens on level 01, gathering spaces on the rooftop and much more. All of these quality spaces are connected via the green spine, making the journey to each apartment a spectacular one.

For pedestrians walking by, this activated and lush vertical spine will create a point of interest along the busy St Kilda Rd.

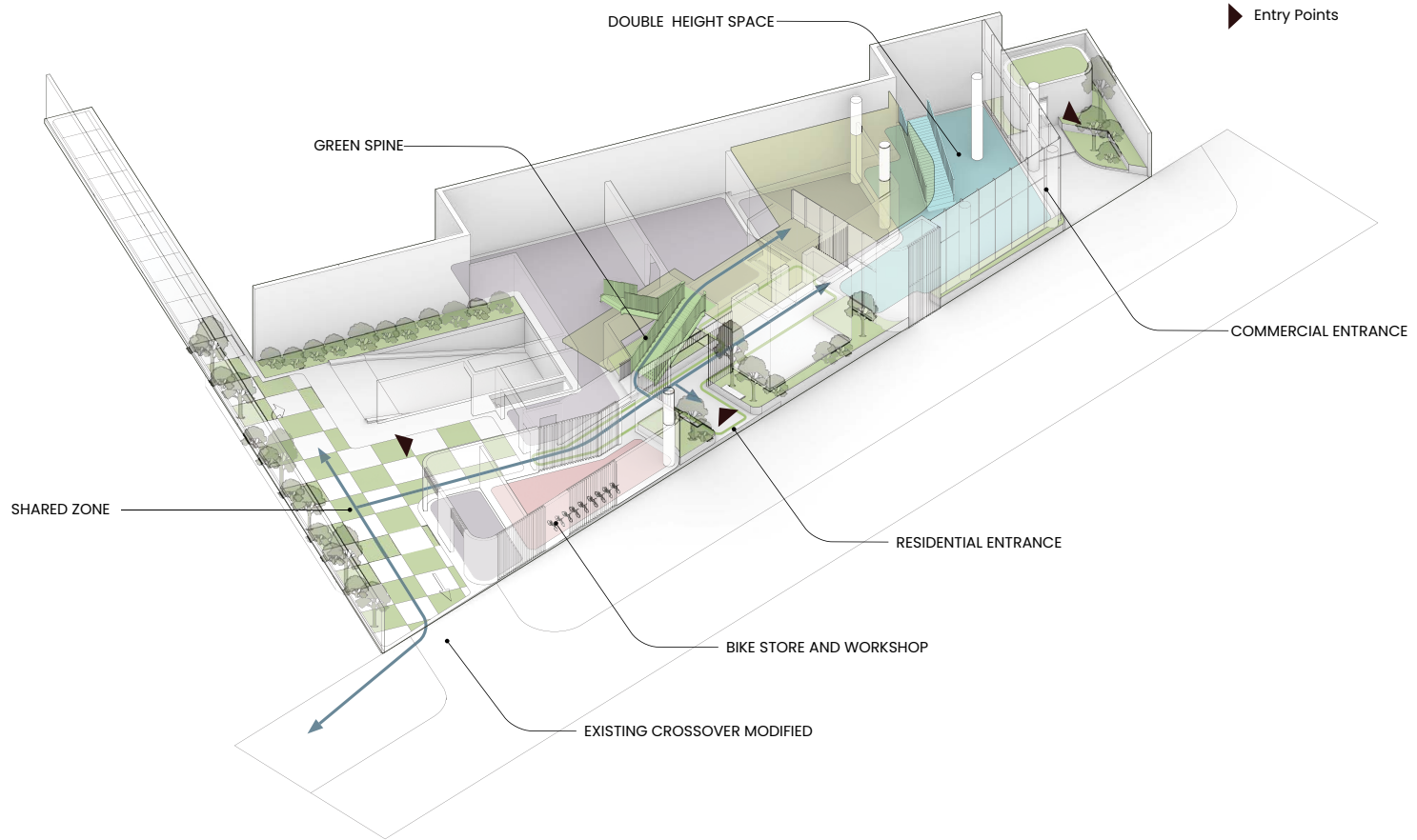
The 3 pillars of designing with country have guided our design process:

- Nature
- Design
- People

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Planning Application No. 00786/2022
No. of Pages: 25 of 46**



3.3 Network of Gathering Spaces Ground Plane & Public Realm



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Advertised Document
Planning Application No. 00786/2022
No. of Pages: 26 of 46

3.0 Design Response

3.3 Network of Gathering Spaces
Ground Plane & Public Realm



**City of Port Phillip
Advertised Document
Planning Application No. 00786/2022
No. of Pages: 27 of 46**

The podium is filled with plants, with garden beds throughout and benches for locals.

The massing is highly articulated, with voids allowing visual connections between each level.





95 ST KILDA ROAD, ST KILDA
Document Set ID: 6805666
Attachment 4: Urban Context Report 2024-08-08

City of Port Phillip
Advertised Document
Planning Application No. 00786/2022
No. of Pages: 28 of 46

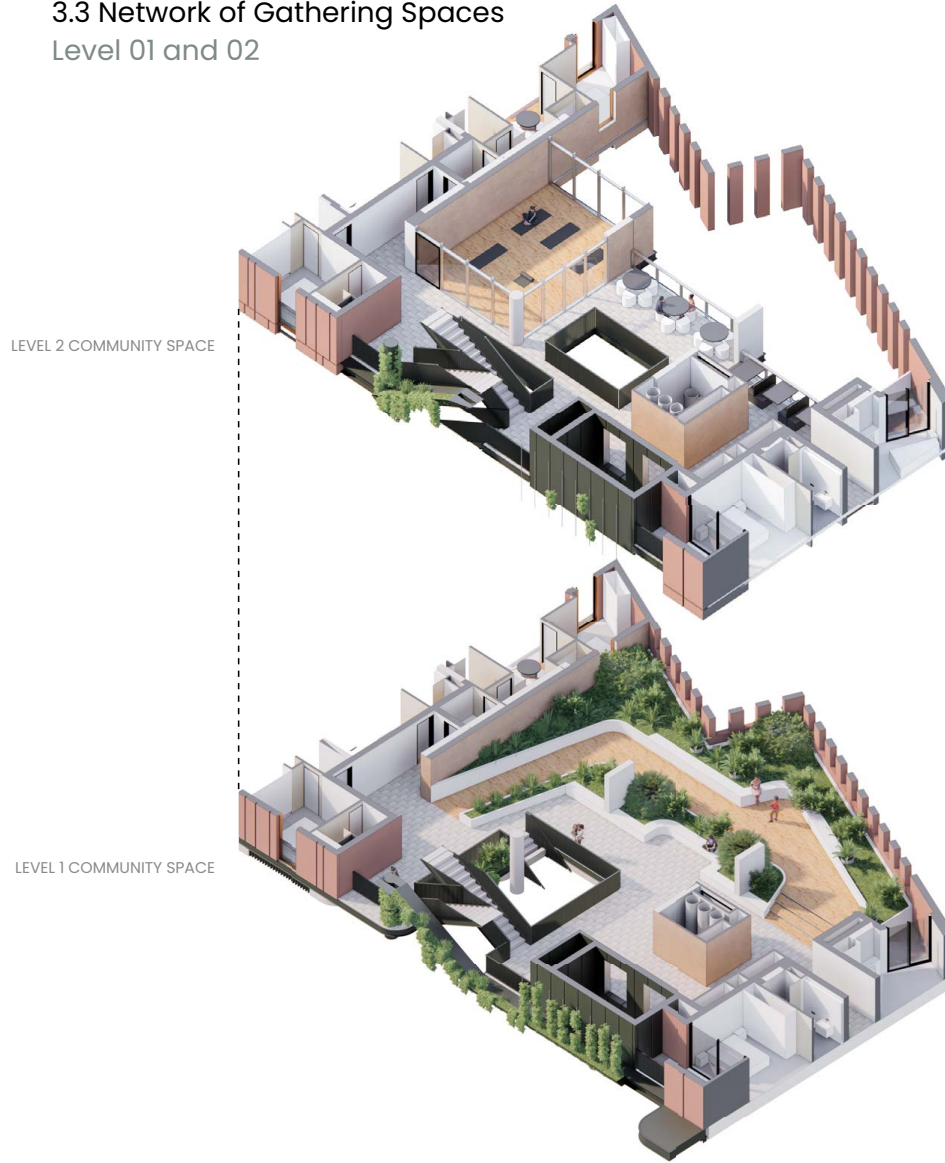
GAMUDA LAND

**BAYLEY
WARD**

28

3.0 Design Response

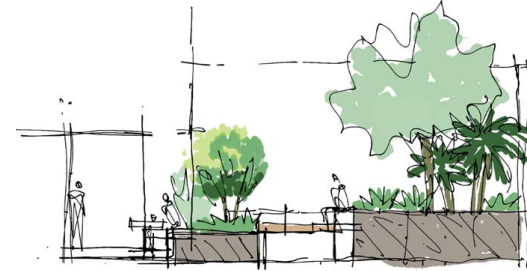
3.3 Network of Gathering Spaces
Level 01 and 02



95 ST KILDA ROAD, ST KILDA
Document Set ID: 6805666
Attachment 4: Urban Context Report

City of Port Phillip
Advertised Document
Planning Application No. 00786/2022
No. of Pages: 29 of 46

The level 01 and 02 spaces are designed for a variety of purposes: exercising, chatting with the neighbour or relaxing in the lush garden.



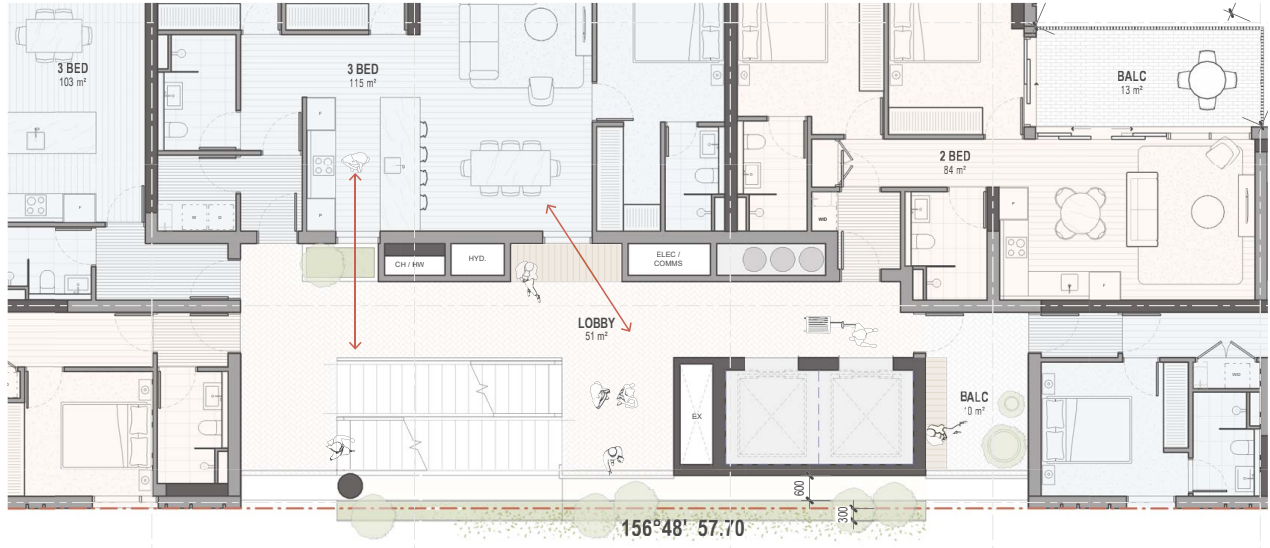
GAMUDA LAND

BAYLEY WARD

3.0 Design Response

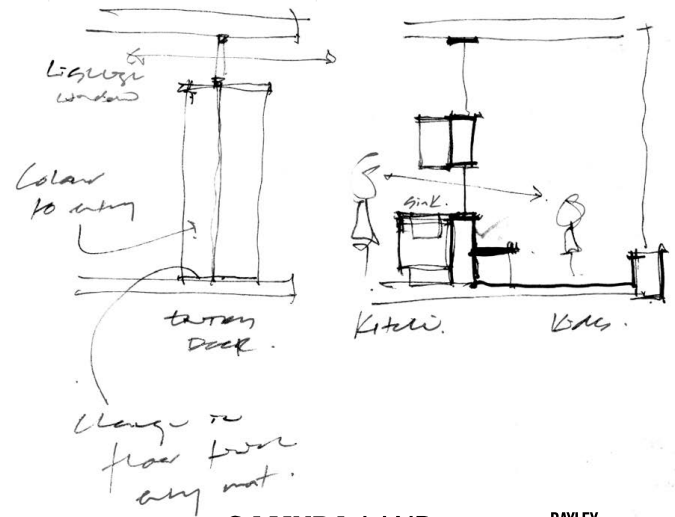
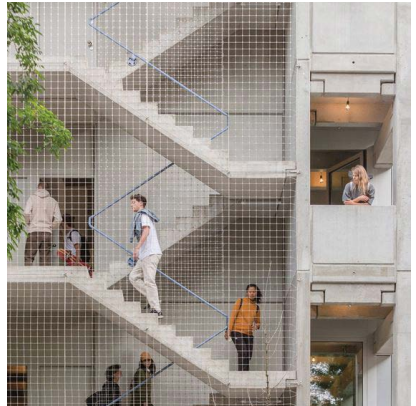
3.3 Network of Gathering Spaces
Green spine

**City of Port Phillip
Advertised Document
Planning Application No. 00786/2022
No. of Pages: 30 of 46**



The lift lobbies are more than corridors to access each apartment, they are designed to promote interactions between neighbours. There are seating areas, planters and backyard balconies. The visual connections in and out of apartments also contribute to this activation and passive surveillance. Each tenant also has access to 3 bin chutes: landfill, recycling and organic. The glass waste will be brought to the bin room on ground floor by the residents. The planter boxes along St Kilda Rd can be accessed via a 600mm catwalk, to provide maintenance access.

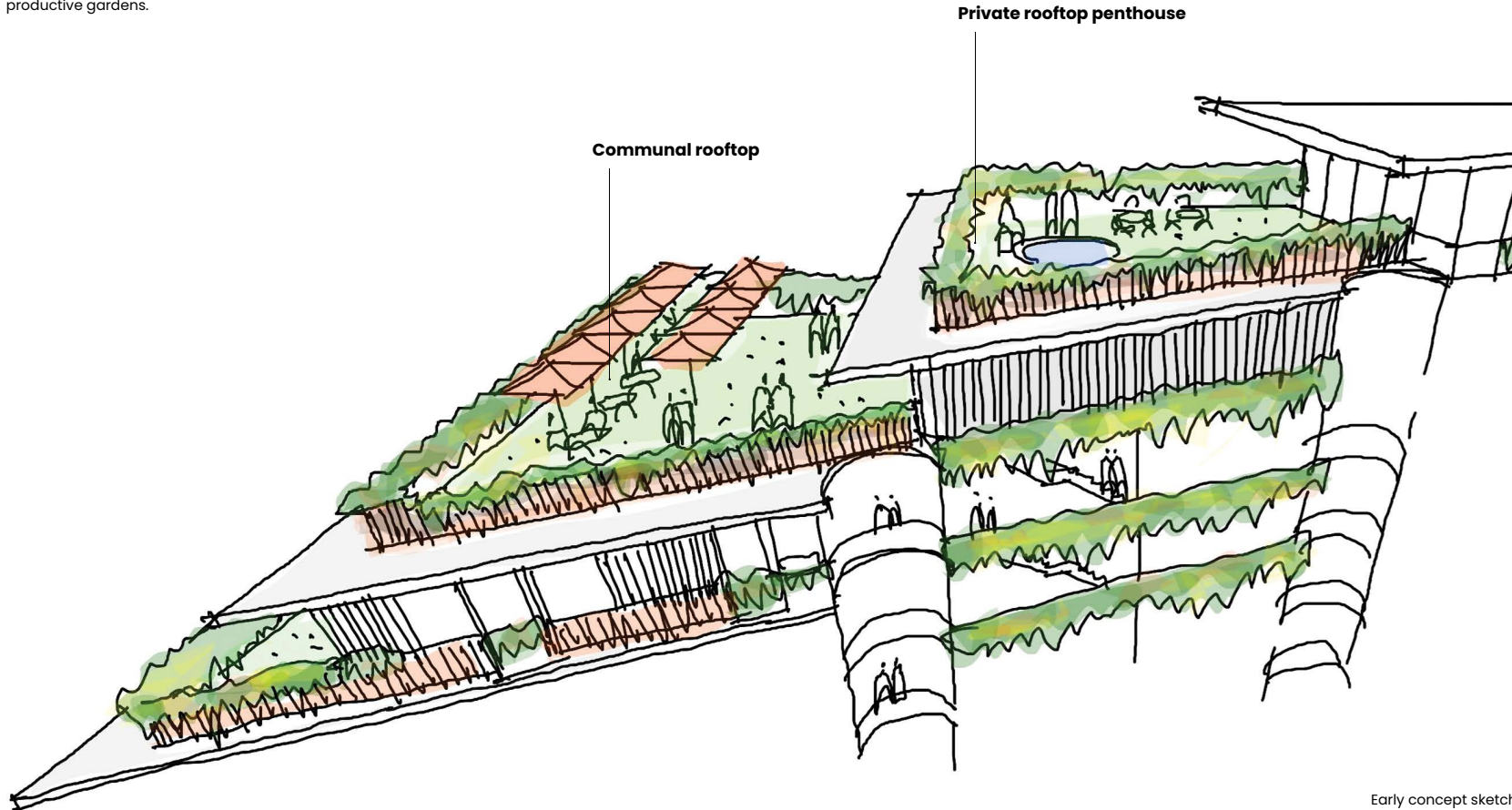
← → Visual connections



3.3 Network of Gathering Spaces Rooftops

The communal rooftop is a place to gather and enjoy the views to the bay, while sheltered from the wind and the sun. Residents will also have the opportunity to grow plants in the productive gardens.

City of Port Phillip
Advertised Document
Planning Application No. 00786/2022
No. of Pages: 31 of 46



Early concept sketch

3.0 Design Response

3.4 Facade Design
Facade Types

SPINE

At the center of the project is the spine, which articulates the massing and links everything together. The material palette echoes native Australian gardens, with planted edges and climbers, green-colored metal and timber soffit ceilings.



City of Port Phillip
 Advertised Document
 Planning Application No. 00786/2022
 No. of Pages: 32 of 46



TOWER

On both sides of the spine is a facade that references the red-brown sandstone from the St Kilda beach that the Boon Wurrung people used to sharpen their tools. The layering of colors echoes the stratification of these rocks, connecting this building back to the land on which it sits. This facade type wraps around the tower on all sides.



PODIUM

The base is a 2-storey volume that is articulated with canopies, voids and various entrances. The material palette is comprised of light and warm bricks, metal and timber soffits.

3.4 Facade Design Podium

City of Port Phillip
Advertised Document
Planning Application No. 00786/2022
No. of Pages: 33 of 46



- ① Brickwork
- ② Green coloured canopy
- ③ Green coloured louvres
- ④ Green painted concrete with public art



3.0 Design Response

3.4 Facade Design Podium Materiality

- _Intricate materials with finer details, relating to the pedestrian scale.
- _Breathable spaces, with see-through gates and louvres, to promote connectivity, fresh air and allowing the plants to thrive.
- _Glass facade to the tenancy to maximise natural light while sheltering the occupants from St Kilda.

City of Port Phillip
 Advertised Document
 Planning Application No. 00786/2022
 No. of Pages: 34 of 46



3.4 Facade Design Spine

City of Port Phillip
Advertised Document
Planning Application No. 00786/2022
No. of Pages: 35 of 46

- ① Green metal slab/stair cover
- ② Balustrade painted green
- ③ Stair planter
- ④ Green painted concrete



3.0 Design Response

3.4 Facade Design Spine Materiality

- _Lush vegetation, with an automated irrigation system and a 600mm catwalk to ensure that the plants are maintained regularly.
- _Timber soffit for warmth, while sheltered from the rain and the UVs.
- _Green-colored concrete and metal balustrades.

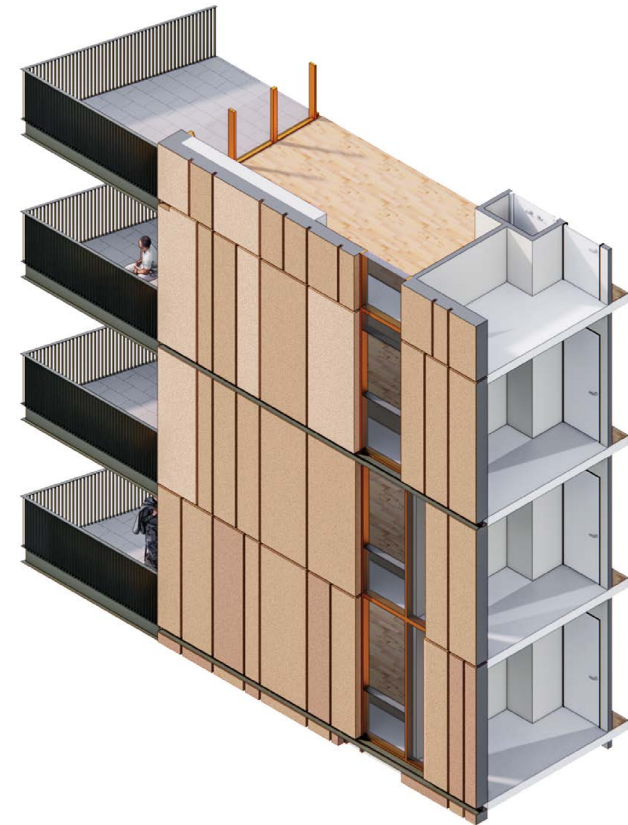
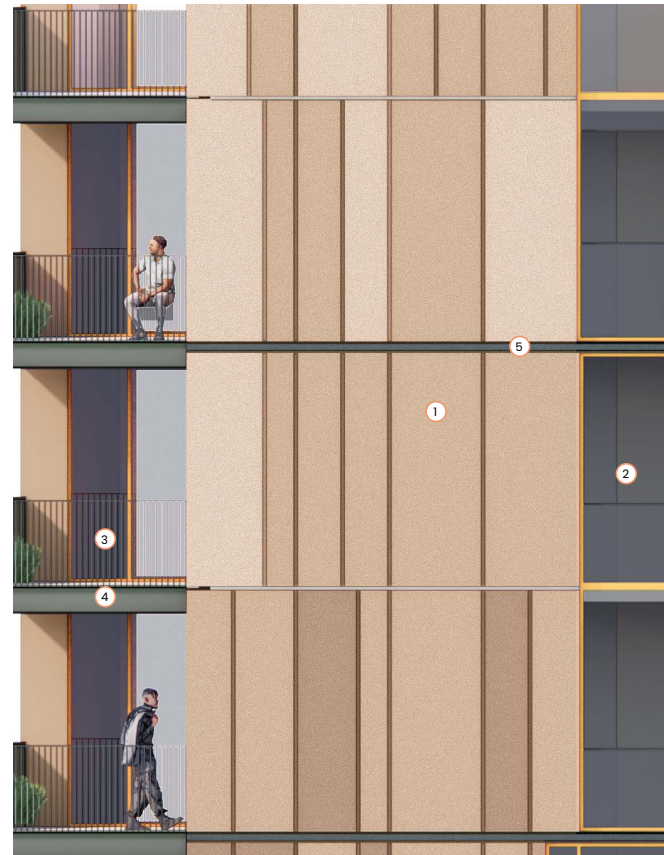
City of Port Phillip
 Advertised Document
 Planning Application No. 00786/2022
 No. of Pages: 36 of 46



3.4 Facade Design Tower

City of Port Phillip
Advertised Document
Planning Application No. 00786/2022
No. of Pages: 37 of 46

- ① Cement panel - 3 colors
- ② Glazing
- ③ Balustrade painted green
- ④ Green metal slab cover
- ⑤ Recessed channel to create depth

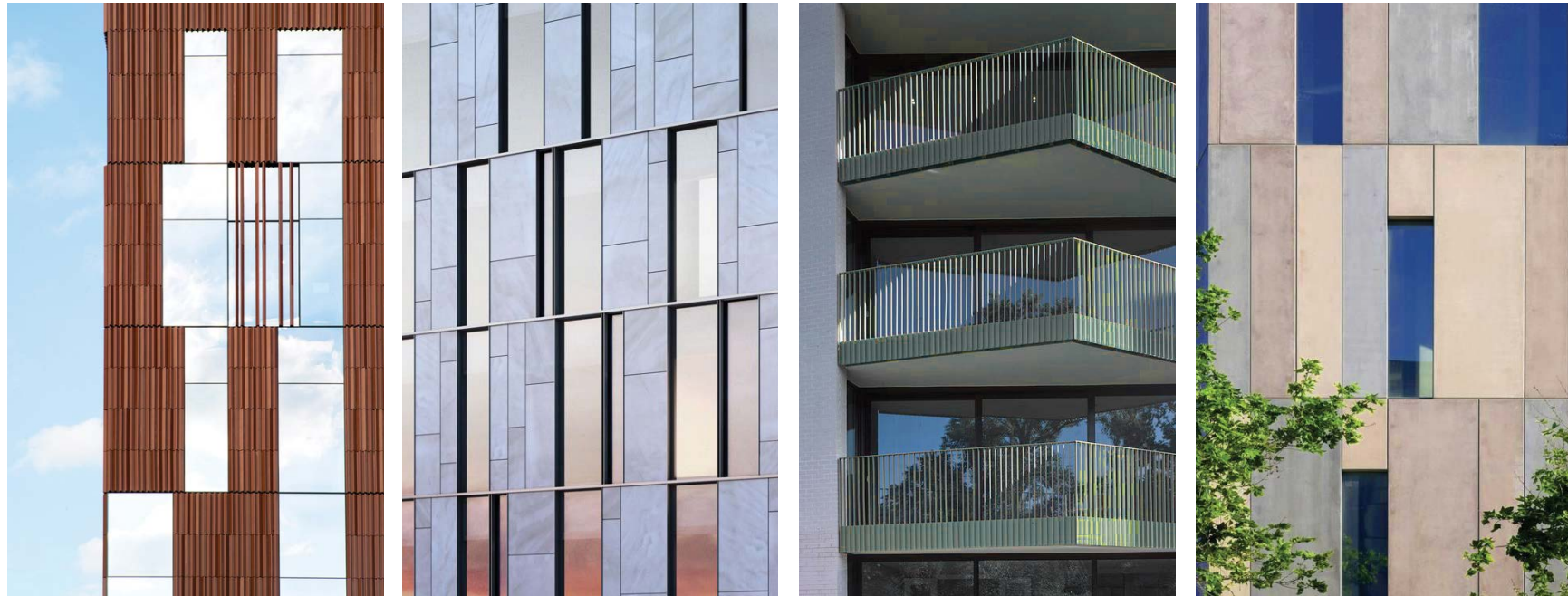


3.0 Design Response

3.4 Facade Design
Tower Materiality

- _ 3 shades of colored cement relating back to the red-brown sandstone.
- _ Green-colored concrete and metal balustrades.
- _ Glass panels to maximise the views to the bay, without compromising the thermal efficiency.

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 Advertised Document
 Planning Application No. 00786/2022
 No. of Pages: 38 of 46



3.5 Sustainable Initiatives

City of Port Phillip
Advertised Document
Planning Application No. 00786/2022
No. of Pages: 39 of 46

Nathers Climate Zone 21

Rain Water
- Rainwater collected and reused for toilet flushing and irrigation

Thermal comfort
- High performance facade
- Cross ventilated apartments
- Air-tight envelope
- Good daylight for each apartment
- Acoustically sealed units

Wellbeing
- Promoting movement
- Communal and meeting spaces
- Active open space



All Electric
- All electric, no gas.
- Electric vehicle charging stations in basement.
- Rooftop PVs

Materials & Waste
- Durable
- Reducing embodied carbon
- Waste streams split 3 ways

Biophilic design
- Landscaped lift lobby
- Green rooftops to reduce urban heat island effect
- Urban agriculture
- Fruit bearing trees

4.0

PERSPECTIVES

City of Port Phillip
Advertised Document
Planning Application No. 00786/2022
No. of Pages: 40 of 46



City of Port Phillip
Advertised Document
Planning Application No. 00786/2022
No. of Pages: 41 of 46



City of Port Phillip
Advised Document
Planning Application No. 68780/2023
No. of Pages: 42 of 48



95 ST KILDA ROAD, ST KILDA
Document Set ID: 6805666
Attachment 4: Urban Context Report

GAMUDA LAND

**BAYLEY
WARD**

43

City of Port Phillip
Advertised Document
Planning Application No. 00786/2022
No. of Pages: 44 of 46



95 ST KILDA ROAD, ST KILDA
Document Set ID: 6805666
Attachment 4: Urban Context Report 00786/2022

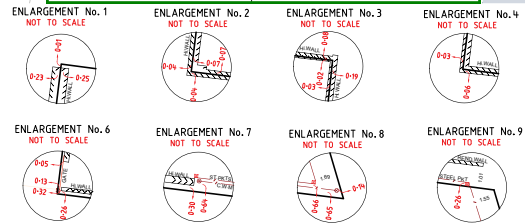
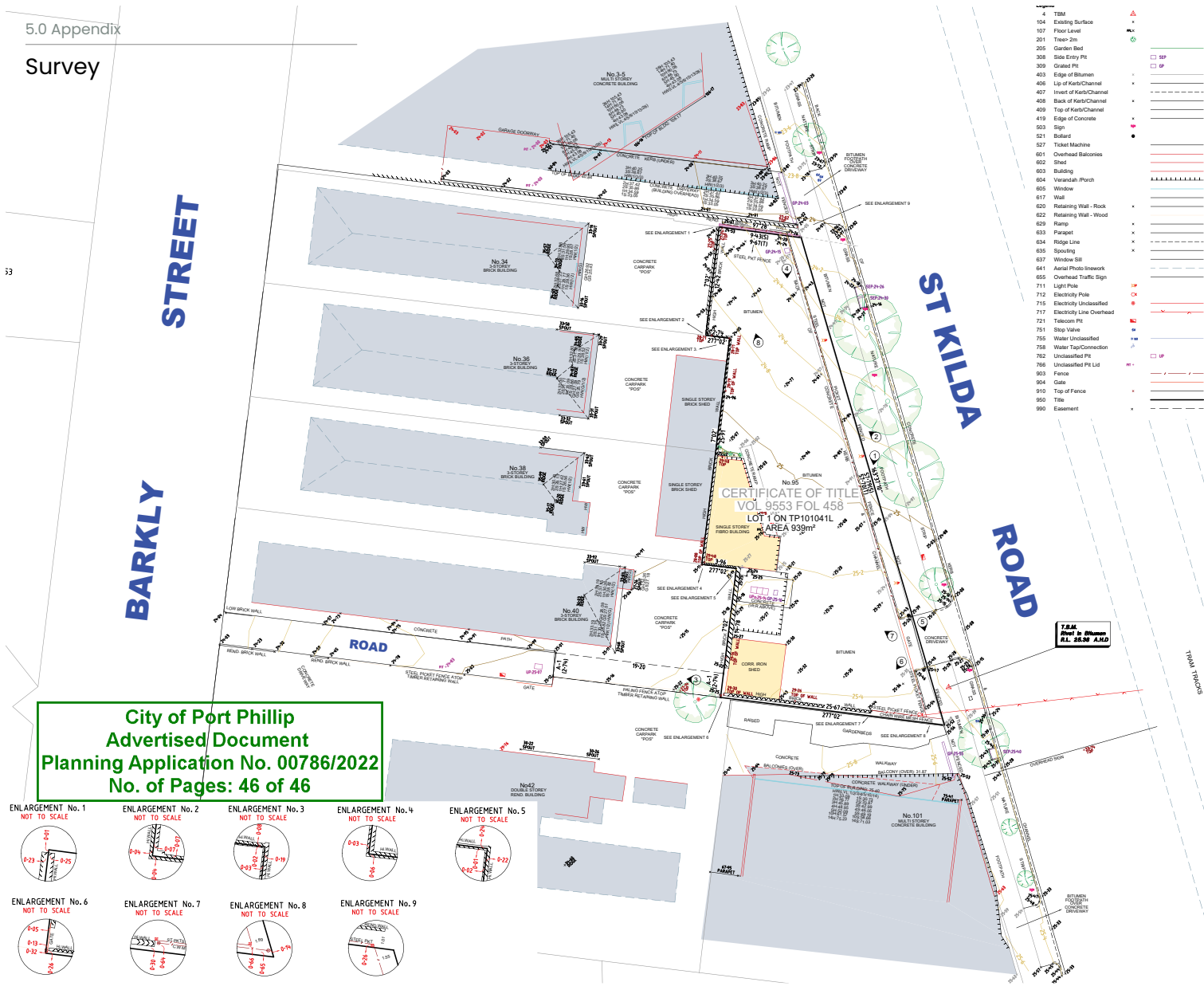
GAMUDA LAND

**BAYLEY
WARD**

5.0

APPENDIX

City of Port Phillip
Advertised Document
Planning Application No. 00786/2022
No. of Pages: 45 of 46



Legend

- 4 TBM
- 104 Existing Surface
- 107 Floor Level
- 201 Tree 2m
- 205 Garden Bed
- 308 Side Entry Pit
- 309 Gravel Pit
- 403 Edge of Bitumen
- 406 Lip of Kerb/Channel
- 407 Invert of Kerb/Channel
- 408 Back of Kerb/Channel
- 409 Top of Kerb/Channel
- 410 Edge of Concrete
- 503 Sign
- 521 Bollard
- 527 Toilet Machine
- 601 Overhead Balconies
- 602 Shed
- 603 Building
- 604 Workshop Porch
- 605 Window
- 617 Wall
- 620 Retaining Wall - Rock
- 622 Retaining Wall - Wood
- 629 Ramp
- 633 Parapet
- 634 Ridge Line
- 635 Spouting
- 637 Window Sill
- 641 Aerial Probe Inwork
- 655 Overhead Traffic Sign
- 711 Light Pole
- 712 Electricity Pole
- 715 Electricity Unclassified
- 717 Electricity Line Overhead
- 721 Telecom Pole
- 751 Stop Valve
- 756 Water Unclassified
- 758 Water Tap/Connection
- 762 Unclassified PE
- 766 Unclassified PE Lid
- 903 Fence
- 904 Gate
- 910 Top of Fence
- 950 Title
- 990 Easement

Services

Services that were not visible at the time of survey may not be shown on this Plan. Reference should be made to Service Authority plans prior to commencement of works.

In all instances, it is essential that the position of underground services (whether or not shown on this Plan) be verified on site and adjoining sites prior to any critical design or commencement of works. This should be done in consultation with all relevant Service Authorities.

Notations

Date of Survey: August 2022
 Land Subject to Easement:
 A-1 Right of Carriage Way
 This Plan is to be read in conjunction with the attached Surveyors Report.
 The location of buildings beyond site boundaries are indicative only.
 Information relating to adjoining properties has only been shown where visible or accessible.
 Aerial photograph linework (Layer 641) is approximate only (derived from an aerial photograph).
 The Digital Cadastral Map Base linework (Layer 098) is indicative only and should not be used for design purposes.
 Where boundary dimensions differ from Title dimensions, Land Registry approval must be sought for the survey based dimensions prior to development.
 (S) - Survey
 (T) - Title
 Windows on neighbouring properties have been located remotely and categorised by visual interpretation only.
 HW - Habitable Window
 NHW - Non-habitable Window
 H - Window head
 S - Window sill
 Private Open Space is denoted as POS
 Refer to Plan Ref. 304784-BA for site photographs.
 Direction of photographs shown thus

All dimensions and survey marks shown on this Plan should be verified/confirmed by all contractors and consultants prior to any future construction & site works.

Levels shown thus are to Australian Height Datum vide Prathar PM77 with a stated value of RL 24.153m.
 Refer to frozen layers with a suffix of -L for levels.
 Refer to frozen layers with a suffix of -C for crosses.
 Refer to frozen layer "TRIANGLE" for 3D Triangles.
 Contour interval 0.2 metres.

Scale
 1:200

Client
 Lachlan McCreary Licensed Surveyor

Drawn
 XA

Date
 29/08/22

Survey Data
 30478408.ssd

CAD drawing number
 304784-AA

Original sheet size
 A1

Client
 Gamuda Land
 c/- Bonnie Zhong

Project
 95 St Kilda Road, St Kilda

Details
 Boundary Re-establishment
 Feature and Level Survey
 C/T Vol 9553 Fol 458

Sheet
 1 of 1

Job Number
 304784

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Document Set ID: 6805666

GAMUDA LAND

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