

K20 ARCHITECTURE **k 2 0 . A U**

**TENDER ISSUE**

PROJECT  
**STALL 159s REMODELLING  
TO THE SOUTH MELBOURNE MARKET  
CNR OF CECIL AND COVENTRY STREET  
SOUTH MELBOURNE, VIC 3205**



PRINCIPAL  
**PORT PHILLIP CITY COUNCIL  
CORNER CARLISLE ST & BRIGHTON RD  
ST KILDA, VICTORIA 3182**

**Contract No: 1307**

**VOLUME NO 1- TENDER FORMS  
(TENDERERS TO COMPLETE AND LODGE AT 116 -136 CECIL STREET, SOUTH MELBOURNE MARKET  
– MARKET OFFICE)**



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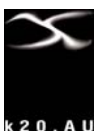
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**COMMERCIAL IN CONFIDENCE**

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Rev No.	Issue	Author	Reviewer		Approved For Issue		
			Name	Signature	Name	Signature	Date
P1	Draft	AU	R. Darmawan		AU		21.01.2009
T1	Tender	Y.Chiu	AU		AU		03.02.2009



## SPECIFICATION

Of materials and workmanship to be used in the construction of:

### Project address

Stall 159s, South Melbourne Market  
Corner Coventry Street & Cecil Street  
South Melbourne, Victoria 3205

### Project Description

Works included internal remodelling of the existing Stall 159s within South Melbourne Market.

New signage bulkhead & roller door wall enclosure to be provided to Stall premise. General upgrade including floor levelling, electrical works & sprinkler system are also required.

The project is to be constructed in **one stage**.

The construction working hours shall be within Stall footprint to market's non-operational hours.

The hours are as follows: Monday, Tuesday and Thursday from 7:30am to 5pm. Approval shall be required from the Superintendent for any Work carried out after hours on Market & Non-Market days.

### Principal

City of Port Phillip  
Corner Carlisle Street & Brighton Road  
St Kilda, Victoria 3182

### Superintendent

City of Port Phillip  
South Melbourne Market

Superintendent: Le-Hugh, Sinclair  
Tel: (03) 9209 6553  
Mobile: 0419 113 978

### Architect

K20.AU Pty Ltd  
t/a K20 Architecture  
325 Coventry Street  
South Melbourne, Victoria 3205

Architect: Anthony U  
Tel: 9699 4440  
Fax: 9699 5550



**Building Surveyor**

Building Solutions Victoria Pty Ltd  
Corner Carlisle Street & Brighton Road  
St Kilda, Victoria 3182

Surveyor: Bill Yannelis  
Tel: (03) 9209 6254  
Fax: (03) 9209 6354

**Structural Engineering**

HB Civil & Structural Engineer Pty Ltd  
391 Swan Street, Richmond, Vic 3121

Director: Paul Contos  
Tel: 0403-888-420

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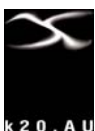
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Other specification Volumes for reference

**VOLUME 1- TENDER INFORMATION**

Volume 2 – Project Specification & drawings



## SECTION 00240 GENERAL CONDITIONS OF CONTRACT

### 1. GENERAL DESCRIPTION OF WORKS

The whole of the works in this Contract shall be carried out as shown on the accompanying plans and sections and in accordance with these Specifications, Schedules and General Conditions of Contract, and to such lines and levels as may be directed by the Superintendent and to his satisfaction.

### 2. PREFERRED CONTRACTOR

The preferred Electrician for the Stall project works is as follows:-

#### **JMD Electric**

Contact: Rob Eason

Office- 9467 4875

Mobile- 0408 349 577

### 3. CERTIFICATES OF INSURANCE

Submit each of the following certificates to the principal via the Superintendent *before commencement of work*.

- A. RESTORATION OF EXISTING OR BUILT STRUCTURES
- B. PUBLIC LIABILITY INSURANCE.
- C. WORKERS COMPENSATION AND EMPLOYER'S LIABILITY.

### 4. TENDER QUERIES & SITE VISIT

Any queries during Tender shall be addressed to Mr Sinclair Le-Hugh in writing.

It is anticipated each Tenderer shall organise a site visit during the Tender period to walk through and inspect the stalls to familiarise themselves with the project scope. Site Visits may be organised through the Superintendent for the project Mr Sinclair Le-Hugh – ph. 9209-6553

### 5. TENDER SUBMISSIONS

Tenders shall be submitted with the following details before the closing time in at least one of the following methods:

Attention: Mr Sinclair Le-Hugh

By Mail or Hand to:-  
South Melbourne Market  
116-136 Cecil Street  
South Melbourne  
(Market Office)

By Email (via this email it is up to the Tenderer to confirm receipt):-

Email to: [sle-hugh@portphillip.vic.gov.au](mailto:sle-hugh@portphillip.vic.gov.au)

### 6. TENDER CLOSE

The Tender Closing Time & Date are noted below.

**TENDER CLOSE – 12pm Wednesday 25<sup>th</sup> February 2009**



**SECTION 00300 TENDER FORM**

1. We, the undersigned, are willing to execute the Works in accordance with the Conditions of the Contract, Specification and Drawings referred to therein for: -  
Fixed Lump Sum Tender (**excluding 10% GST**)

.....  
(enter word amount)

\$.....

(enter dollar amount) for the whole of the works as documented.

2. The following items relate to our Tender and will form part of the Contract: -

(a) Percentage to be charged for Variations: -

		Additions:	Omissions
(i)	Preliminaries	8%	8%
(ii)	Overhead & Profit	10%	10%

3. We undertake, in the event of your acceptance of this Tender, to execute a Contract embodying all the conditions and terms contained.

4. We agree to abide by this Tender for a period of twelve (12) calendar weeks from the date fixed for receipt of same and it shall remain binding upon us and may be accepted at any time before the expiry of that period.

5. We understand that you are not bound to accept the lowest or any Tender you receive.

6. Time to reach Practical Completion ..... Days.  
(The Contract Conditions require maximum eight (6) calendar weeks)

7. Defects Liability period ..... Weeks. (The contract conditions require min thirteen (13) calendar weeks)

8. The Tender includes notices to Tenderers No's ..... received during the tender period.

9. We enclose completed Tender Form Addendum and all other requirements required within this Documentation.

10. Our Building Practitioner's Registration Number is.....

11. We have Structural Defects Insurance Cover of **\$10M**  
Through to (enter renewal policy date) .....  
(With submission of Tender Provide Copy of Insurance Certification)

12. Our Australian Business Number is:- ABN:  
and we are / we are not registered for GST (*strike out which ever is not applicable*)

DATED this ..... day of .....2009

SIGNATURE ..... in the capacity of .....

duly authorised to sign Tenders for and on behalf of .....

ADDRESS .....



**SECTION 00310 TENDER SUBMISSION STATUTORY DECLARATION**

I .....

of ..... in the State of Victoria do solemnly and sincerely declare

1. I am a tenderer for the construction of the stall and associated works of the property at **the South Melbourne Market, Cnr Cecil & Coventry Street, Sth Melbourne, 3205**
2. Neither the tenderer nor any of its servants or agents has entered into any contract, arrangement or understanding to pay any trade association in respect of the contract for the project referred herein.
3. Neither the tenderer nor any of its servants or agents has any knowledge of the price of any other tenderer prior to submitting its tender nor has the tenderer disclosed to any rival tenderer the tenderer's price.
4. Neither the tenderer nor any of its servants or agents has entered into any contract, arrangement or understanding having the result that on being awarded this contract, it will pay to any unsuccessful tenderer any moneys in respect of or in relation to the tender or any contract resulting there from.
5. The tender is a genuine competitive tender and is not a "cover Tender" or "Cover Bid".

I solemnly and sincerely declare that this declaration is signed with my name and handwriting and that the contents of my declaration are true and correct in every particular and in the belief that by virtue of the provisions of an Act of the Parliament of Victoria persons making a false declaration are punishable for perjury.

..... Signature of person making declaration

Declared at

In the State of Victoria, this ..... day of ..... 2009

Before me ..... signature  
..... name  
..... title for authority  
..... address



**SECTION 00320 TRADE BREAKDOWN**

Submit a list of major sub-contractors and suppliers at time of tender submission.

These sub-contractors are not to be changed during the course of the Project, without consent of the Superintendent. The submission of this list of sub-contractors and suppliers in no way varies the obligation of the Contractor to supply items which are listed in the Specification or shown on the Drawings in any detail and aspects.

Submit the cost allowance for each of these sub-contractors at the time of close of tender.

Trade	Sub-Contractor's or Suppliers Name	Cost (EX 10% GST)
Preliminaries		
Site Protection Works and site management includes waste management plan		
Steelwork		
Metalworker		
Wall Linings – Internal		
Glazier & Glazing		
Carpenter		
Doors		
Electrical Services – lighting, power		
Floor Finishes - Internal		
Nominated contractors		
Prime Cost Allowances		
<b>Total Tender Sum (Ex GST)</b>		

Tender sign-off submission Box:

Signature of Tenderer: .....  Date: .....
---



**SECTION 00322 SCHEDULE OF ALTERNATIVES SUBCONTRACTORS AND/OR ALTERNATIVE PRODUCT SPECIFICATION**

This schedule is provided for the tenderer to clearly identify a schedule of ANY ALTERNATIVE sub-contractors or product specification proposed under the tenderer’s Tender submission.

The tender price submitted shall be a conforming tender by including the costs of the nominated sub-contractors and alternative product specification.

The schedule below shall outline any altered sub-contractor or product specification and the project cost saving (if any) for doing so. Any altered sub-contractor/product shall be equivalent to that being specified and be inclusive of associated, incidental and overhead costs.

The Superintendent reserves the right to accept or refuse any altered sub-contractor/product outlined in the table below. Any items accepted will adjust the Total Project Tender Sum (EX 10% GST) by the amount indicated below within the Tender Sum Adjustment table.

Item	Description of Work	Tender Sum adjustment – brackets indicate negative Tender adjustment (ex 10% GST)
1.		
2.		
3.		
4.		

Tender sign-off submission Box:

Signature of Tenderer: .....  Date: .....
---



**SECTION 00323 SCHEDULE OF HOURLY LABOUR RATES**

**WORKING HOURS LABOUR RATE**

Trade	Labour Rate (ex 10% GST)	After Hours Labour Rate (ex 10% GST)
Bricklayer	\$...../hour	\$...../hour
Carpenter	\$...../hour	\$...../hour
Concreter	\$...../hour	\$...../hour
Plumber	\$...../hour	\$...../hour
Electrician	\$...../hour	\$...../hour
Joiner	\$...../hour	\$...../hour
Labourer	\$...../hour	\$...../hour
Metalworker	\$...../hour	\$...../hour
Painter	\$...../hour	\$...../hour
Plasterer	\$...../hour	\$...../hour
Roofer	\$...../hour	\$...../hour
Steelworker	\$...../hour	\$...../hour
Welder	\$...../hour	\$...../hour
Glazier	\$...../hour	\$...../hour
Renderer	\$...../hour	\$...../hour

*Note: The above labour rates are to include builder's preliminaries, overhead and profit margins.*

Tender sign-off submission Box:

Signature of Tenderer: .....  Date: .....
---



**SECTION 00500 INSTRUMENT FORM OF AGREEMENT (City of Port Phillip Purchase Order Agreement Copy attached to this Tender – 2pages)**  
**(TENDERER IS NOT REQUIRED TO COMPLETE THIS FORM EXCEPT FOR THE TENDER SIGN OFF BOX BELOW – THIS FORM IS PROVIDED FOR INFORMATION PURPOSES ONLY)**

**PURCHASE ORDER (SERVICES)**

To: ..... **Date of Order:** / / 2009

Address: .....

..... ("Supplier")

Facsimile: ..... Phone: .....

Email: .....

From: .....

Port Phillip City Council  
Cnr Carlisle Street and Brighton Road, St Kilda Vic 3182 ("the Council")

Facsimile: (03) 9534 9105 Phone: (03) 9298 6666

Email: assist@portphillip.vic.gov.au

The Council wishes to purchase from the Supplier the following Services ("Services") on the terms of this Purchase Order:

.....  
.....

The Supplier must complete the Services by the following date ("Delivery Date"):

.....

The Council must pay the Supplier \$..... ("Purchase Price") for completion of the Services.

The Council will pay the Purchase Price by the following method of payment:

By electronic funds transfer or cheque within 28 days of receipt of invoice.

The Supplier will effect the following insurance policy or policies with an insurer and in terms approved by the Council:

1. Professional indemnity cover of not less than \$ .....
2. Public liability cover of not less than \$ .....
3. Other cover: ..... \$ .....

By its representative signing this Purchase Order, the Supplier acknowledges and agrees to the terms of this Purchase Order and the contract which is therefore created:

The Council's Representative: .....

Signature .....

Name and Position .....

Date .....

The Supplier's Representative: .....

Signature .....

Name and Position .....

Date .....

[GOV: 2282512v1]

Tender sign-off submission Box:

Signature of Tenderer: .....
Date: .....



**TERMS**

**1. Definitions**

The following terms will, if not inconsistent with the context, have the meanings indicated:

**"Intellectual Property"** means any and all technology and information existing at the date of this Purchase Order which relates to the Services including but not limited to:

- (a) any confidential information, copyright, patent and trademarks, and includes any right to apply for registration of these intellectual property rights; and
- (b) any processes, formulae, designs, reports, drawings, specifications, software, blue-prints, patent applications, know-how and research data.

**"Purchase Order"** means the Purchase Order preceding and including these Terms.

**"Services"** means the services described in this Purchase Order.

**"Supplier"** means the party described as such in this Purchase Order.

**2. Completion**

The Supplier must complete the Services on or before the Delivery Date in accordance with this Purchase Order.

**3. Warranties**

In addition to other warranties in this Purchase Order and implied by law, it is a condition of the Council's purchase of the Services that:

- 3.1 the Services will be supplied with all due care;
- 3.2 the Supplier has the qualifications, experience and expertise represented to the Council;
- 3.3 the Supplier has no conflict of interest in supplying the Services; and
- 3.4 the Services will conform to the reasonable requirements of the Council.

**4. Particular Obligations**

The Supplier agrees that, in supplying the Services, it will comply with:

- 4.1 the Information Privacy Principles described in the *Information Privacy Act 2000*, as if that Act applied to it; and
- 4.2 section 38(1) of the *Charter of Human Rights and Responsibilities Act 2006*, as if that sub-section applied to it.

**5. Variation or Termination**

5.1 The Council may, at any time, by giving written notice to the Supplier, terminate this Purchase Order and the Supplier must on receipt of such notice immediately cease all work and take all appropriate action to mitigate any loss or prevent further costs being incurred. In such event the Council will pay the reasonable fees and expenses of the Supplier in accordance with this Purchase Order but not any loss of prospective profits. In no circumstances must the fees or expenses payable exceed the fees or expenses that would have been paid had the Purchase Order been completed.

5.2 The Council may at any time give written notice to the Supplier proposing a variation to the scope of the Services. The Supplier must, as soon as possible, or in any event within 7 days, provide a written proposal as to the varied Purchase Price that will apply for the provision of the varied Services. The Council may accept the varied Purchase Price proposal within 7 days of receipt from the Supplier but in the absence of such acceptance this Purchase Order will continue as if no proposal under this sub-clause had been made.

**6. Status of Services**

Upon request by the Council, the Supplier will promptly provide the Council with a written report giving details of the status of the Services, including tasks completed, tasks yet to be completed and estimated completion dates.

**7. Confidentiality**

The Supplier will not disclose, and will ensure that its employees, agents and contractors do not disclose, any confidential information relating to the Council or its affairs which may come to its or their knowledge during the term covered by this Purchase Order.

**8. Intellectual Property**

**8.1 Warranty by Supplier**

The Supplier warrants that it is entitled to use any Intellectual Property which may be used by it in connection with the supply of the Services.

**8.2 Material Created**

The ownership of all Intellectual Property created as a result of the supply of the Services will vest in the Council. The Supplier assigns ownership of all such Intellectual Property rights to the Council and will ensure that its employees, sub-contractors and agents execute all documents necessary to assign to the Council all such rights.

**8.3 Indemnity**

The Supplier indemnifies and will at all times keep the Council indemnified against any action, claim, suit or demand, including an action, claim, suit or demand for or liability to pay compensation or damages and costs or expenses arising out of or in respect of any breach of any third party's Intellectual Property rights relating to the supply of the Services.

**9. Rejection of Services**

The Council may reject any of the Services which do not comply in all respects with this Purchase Order. The Council is not required to make payment for any rejected Services.

**10. Payment**

If the Supplier complies with its obligations under this Purchase Order, the Council must pay the Purchase Price to the Supplier by the method specified in this Purchase Order.

**11. Goods and Services Tax ("GST")**

The Purchase Price is inclusive of GST. Where the Council is required to pay the Supplier any amount under this Purchase Order on account of GST, the amount

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representing GST will only be payable by the Council to the Supplier where the Supplier supplies to the Council a tax invoice for GST purposes, in a form approved by the Council.

**12. Default by Supplier**

12.1 If the Supplier defaults in the performance or observance of any obligation it has under this Purchase Order, the Council may give notice to the Supplier specifying the default and requiring that such default be remedied within 14 days.

12.2 If, within 14 days after receipt of the notice, the Supplier fails to remedy the default, to the satisfaction of the Council, the Council (without prejudice to any other rights that it may have under this Purchase Order or at common law against the Supplier) may:

- 12.2.1 suspend payment under this Purchase Order; or
- 12.2.2 terminate this Purchase Order and any other purchase order between the parties.

**13. Insolvency of Supplier**

If the Supplier -

- 13.1 being a person, commits any act of bankruptcy; or
- 13.2 being a company, commits any act of insolvency -

the Council may terminate this Purchase Order immediately.

**14. Sub-Contracting and Assignment**

The Supplier must not, except with the written consent of the Council, sub-contract or assign the whole or any portion of its rights and obligations under this Purchase Order, and no sub-contractors or assignees will have any rights under this Purchase Order against the Council or be entitled to receive any payments under this Purchase Order from the Council. Where the Council gives its consent to the Supplier in accordance with this sub-clause, the Supplier remains fully responsible for performance under this Purchase Order.

**15. Statutory Requirements**

The Supplier must obey and must ensure that its employees, sub-contractors and agents obey any Acts, regulations and local laws in any way applicable to the performance of this Purchase Order, including, without limitation, any occupational health and safety legislation.

**16. Indemnity and Advance Release**

The Supplier indemnifies and holds harmless the Council, its Councillors and staff from and against all actions, claims, losses, damages, penalties or demands consequent upon, occasioned by or arising from its performance or purported performance of its obligations under this Purchase Order, including, without limitation, any acts or omissions of the Supplier's agents and employees.

**17. Amendment**

This Purchase Order may only be varied or replaced by a document duly executed by the parties.

**18. Further Assurance**

Each party must promptly execute and deliver all documents and take all other action necessary or desirable to effect, perfect or complete the transactions contemplated by this Purchase Order.

**19. Time of the Essence**

Time is of the essence as regards all dates, periods of time and times specified in this Purchase Order.

**20. No Relationship**

Nothing in this Purchase Order will be construed or deemed to constitute a partnership, joint venture or employee, employer or representative relationship between any of the parties. Nothing in this Purchase Order will be deemed to authorise or empower any of the parties to act as agent for or with any other party.

**21. Number and Gender**

In this Purchase Order, a reference to:

- 21.1 the singular includes the plural and vice versa; and
- 21.2 a gender includes the other genders.

**22. Whole Understanding**

This Purchase Order constitutes the whole understanding between the parties and embodies all terms on which the Services are to be supplied by the Supplier. If the Supplier's acceptance or supply of this Purchase Order contains any terms in conflict with this Purchase Order, this Purchase Order will have precedence unless otherwise agreed by the Council in writing.

**23. Governing Law**

The law of the State of Victoria governs this Purchase Order and any legal proceedings under this Purchase Order.

**24. Joint and Several Obligations**

If the Supplier consists of two or more parties, this Purchase Order binds each of them severally and jointly.

**25. Method of Giving Notices**

A notice required or permitted to be given by one party to another under this Purchase Order must be in writing, addressed to the other party and:

- 25.1 delivered to that party's address; or
- 25.2 transmitted by facsimile to that party's facsimile number.

**26. Receipt of Notices**

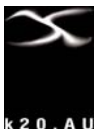
A notice given to a party in accordance with Term 21 must be treated as having been duly given and received:

- 26.1 if delivered to a party's address, on the day of delivery; or
- 26.2 if transmitted by facsimile to a party's facsimile number and a correct and complete transmission report is received, on the day of transmission.

Tender sign-off submission Box:

Signature of Tenderer: .....

Date: .....



**SECTION 00510 PROGRESS PAYMENTS STATUTORY DECLARATION**

**(TENDERER IS NOT REQUIRED TO COMPLETE THIS FORM EXCEPT FOR THE TENDER SIGN OFF BOX BELOW – THIS FORM IS PROVIDED FOR INFORMATION PURPOSES ONLY)**

Oaths Act 1867 or Statutory Declarations Act 1959 or Oaths and Affirmations Act 1984 or Oaths Act 1900 or Oaths Act or Oaths Act 1936 or Oaths Act 2001 or Declarations and Attestations Act 1913

**STATUTORY DECLARATION - VICTORIA**

<input type="checkbox"/> Progress claim	
<input type="checkbox"/> Retention statutory declaration	<input type="checkbox"/> Final payment statutory declaration
State	Country      Australia
From (Contractor)	To (Principal)
Project: <b>South Melbourne Market Stall</b>	
Agreement entered into on the _____ day of _____, 20099	
between the abovementioned Parties for the construction of the Project (the "Agreement")	

I, [name] of [address], [occupation] do solemnly and sincerely declare that:

1. I am the [occupation] of the Contractor and am duly authorised to make this statutory declaration on the Contractor's behalf.
2. All work required under the Agreement has been performed in accordance with the terms thereof.
3. All suppliers, subcontractors, labourers and employees have been paid and satisfied in full for all work done or materials supplied in connection with the Agreement except for [insert detail].
4. To the best of my knowledge and belief, here are no unsatisfied claims for damages arising from injury or death to any employees, subcontractors, or the public at large arising out of the performance of the Agreement, or any suits or claims for any other damage of any kind, nature, or description which might entitle any Party to make a claim upon the property of the Owner.
5. This statutory declaration is sworn for the purpose of receiving final payment in full settlement of all claims arising under or by virtue of the Agreement and acceptance of such payment is acknowledged as a release of the Owner from any and all claims arising under or by virtue of the Agreement.
6. I make this solemn declaration conscientiously believing the same to be true and by virtue of the provisions of the Oaths Act 1867 or Statutory Declarations Act 1959 or Oaths and Affirmations Act 1984 or Oaths Act 1900 or Oaths Act or Oaths Act 1936 or Oaths Act 2001 or Declarations and Attestations Act 1913.

Taken and declared before me, at

on \_\_\_\_\_ day of \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

2009 in the presence of:  
 Declarant  
 Justice of the Peace/Solicitor/Barrister

Tender sign-off submission Box:

Signature of Tenderer: .....

Date: .....



**SECTION 00530 PERFORMANCE SECURITY** (TENDERER IS NOT REQUIRED TO COMPLETE THIS FORM EXCEPT FOR THE TENDER SIGN OFF BOX BELOW – THIS FORM IS PROVIDED FOR INFORMATION PURPOSES ONLY)

At the request of..... ( the Contractor)  
and in consideration of..... ( the Principal) accepting this undertaking in  
respect of the contract for

**SOUTH MELBOURNE MARKET STALL**

.....

.....(name of "the Financial Institution") unconditionally  
undertakes to pay on demand any sum or sums which may from time to time be demanded by the Principal to a maximum  
aggregate sum of

\$.....(.....)

The undertaking is to continue until notification has been received from the Principal that the sum is no longer required by the  
Principal or until this undertaking is returned to the Financial Institution or until payment to the Principal by the Financial Institution of  
the whole of the sum or such part as the Principal may require.

Should the Financial Institution be notified in writing, purporting to be signed by .

.....

for and on behalf of the Principal that the Principal desires payment to be made of the whole or any part or parts of the sum, it is  
unconditionally agreed that the Financial Institution will make the payment or payments to the Principal forthwith without reference to  
the Contractor and notwithstanding any notice given by the Contractor not to pay same.

Provided always that the Financial Institution may at any time without being required so to do pay to the Principal the sum of

\$.....(.....)

less any amount or amounts it may previously have paid under this undertaking or such lesser sum as may be required and  
specified by the Principal and thereupon the liability of the Financial Institution hereunder shall immediately cease.

DATED at.....this.....day of .....2009

**SECURITY CONDITIONS**

Upon the execution of this Contract, the Contractor must deliver to the Supervisor 2.no separate irrevocable bank guarantees or  
insurance bonds payable to the Council totalling 10% of the sum stated in the Council Purchase Order Form (the Purchase  
Price) approved by the Council. Refer to Section 00500 Instrument of Agreement for Copy of Purchase Order form.

At the time of project practical completion one (1) bank guarantee or insurance bond shall be removed with the remaining  
guarantee/bond to remain until the conclusion of the project Defects Liability Period.

If the Contractor fails to carry out and complete its obligations under this Contract, the Council may have recourse to the  
Performance Security in respect of any moneys for which the Contractor may be liable to the Council under this Contract or  
otherwise.

Tender sign-off submission Box:

Signature of Tenderer: .....
Date: .....



**SECTION 00630 WARRANTY REQUIREMENTS**

- A. The Builder or other approved Warrantors shall provide written warranties where so specified elsewhere in this specification.
- B. Each warranty shall be in approved form and shall specifically include the provisions required in writing.
- C. Warranty periods shall commence from the date of the Notice of Practical Completion.
- D. The following warranties are required for labour and materials.

<b>SECTION NO.</b>	<b>SECTION NAME</b>	<b>NO. OF YEARS</b>
05500	METAL WORK	5 YEARS
06200	JOINERY & DOORS	2 YEARS
08800	GLASS AND GLAZING	15 YEARS
09250	PLASTERBOARD	2 YEARS
09650	FLOOR FINISHES	5 YEARS
09900	PAINTING	5 YEARS
16000	ELECTRICAL INSTALLATIONS	2 YEARS
	SEALANTS	15 YEARS
	LIQUID APPLIED SEALANTS	15 YEARS
	STRUCTURAL WORK	25 YEARS

Tender sign-off submission Box:

Signature of Tenderer: .....
Date: .....



**SECTION 00651 SCHEDULE OF INSURANCES**

Provide details of the insurances held, or proposed to be held, by the tenderer, consortium partners and key sub-contractors to satisfy the provisions of clause 7, Part 6, Service General Conditions.

Required Insurance	Insurer	Held by	Amount	Expiry Date
Public Liability				
Professional Indemnity				
Insurance of the Works – All risk insurance	<b>By Contractor</b>			
Work Cover				
Plant & Equipment				
Worker's Compensation				
Cost of Demolition & removal of rubbish				
Other				

Add rows to the above table to encompass all relevant insurances held by the tenderer, consortium partners and key sub-contractors.

Tender sign-off submission Box:

Signature of Tenderer: .....  Date: .....
---



**SECTION 00660 SCHEDULE OF ELECTRICAL TECHNICAL DATA**  
**ELECTRICAL SERVICES**  
**SCHEDULE NO. 1**

This schedule is to be filled in and returned with the tender.

**1. SUB-CONTRACTORS & SUPPLIERS**

- a. Telephone Facility Cabling.....
- b. Accessories and Outlets.....
- c. Switchboard Components.....
- d. Exit and emergency lighting.....

**2. Light Fittings**

Make.....  
Type.....Make.....  
.....  
Type.....Make.....  
.....  
Type.....Make.....  
.....

**3. Accessories and Outlets**

Make.....  
Type.....Make.....  
.....  
Type.....

Tender sign-off submission Box:

Signature of Tenderer: .....
Date: .....



**SECTION 00665 SCHEDULE OF ITEMISED COSTS  
ELECTRICAL SERVICES  
SCHEDULE NO. 2**

This schedule is to be filled in and returned with the tender.

1.	Site establishment & Preliminaries	\$.....
2.	Demolition	\$.....
3.	Power cabling, outlets and accessories	\$.....
4.	Lighting cabling, fittings	\$.....
5.	Testing & Commissioning	\$.....
6.	Maintenance during warranty period	\$.....
7.	As Installed Drawings and Manuals	\$.....
8.	Goods & Services Tax	\$.....
	<b>TOTAL FIXED PRICE</b>	<b>\$.....</b>

Tender sign-off submission Box:

Signature of Tenderer: .....
Date: .....



**SECTION 00700 LIST OF DRAWINGS & DOCUMENTATION**

**Architectural Documentation**

Project No	Drawing No	Drawing Title	Revision	Original Sheet size
	<b>S123</b>	Project Specification Volume 2	T1	A4
0182	S159_A0.00	Title Sheet	-	A3
0182	S159_A0.01	Existing Conditions & Demolition Floor Plan	T1	A3
0182	S159_A0.02	Proposed Conditions_ Floor Plan	T1	A3
0182	S159_A0.03	Proposed Conditions_ Roof Plan	T1	A3
0182	S159_A1.01	Proposed Conditions_ Elevations	T1	A3
0182	S159_A1.02	Proposed Conditions_ Detail	T1	A3

**Structural Engineer Documentation**

090101-S159-S1	Structural Steel Documentation	0	A3
090101-S159-S2	Structural Steel Documentation	0	A3

Tender sign-off submission Box:

Signature of Tenderer: ..... Date: .....
---





K20 ARCHITECTURE **k 2 0 . A U**

## **TENDER ISSUE**

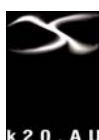
PROJECT  
**STALL 159 REMODELLING  
TO THE SOUTH MELBOURNE MARKET  
COVENTRY STREET  
SOUTH MELBOURNE, VIC 3205**



PRINCIPAL  
**PORT PHILLIP CITY COUNCIL  
CORNER CARLISLE ST & BRIGHTON RD  
ST KILDA, VICTORIA 3182**

**Our project ref: 0182**

**VOLUME No. 2 - PROJECT SPECIFICATION  
CONTRACT NO. 1307**



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**COMMERCIAL IN CONFIDENCE**

Our ref: J:\0182Mark(doc\specification\0182\_S159\_Spec\_revT1.docx

Document Status

Rev No.	Issue	Author	Reviewer		Approved For Issue		
			Name	Signature	Name	Signature	Date
T1	Tender issue	YC	RD		RD		16.01.2009



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ACN 101 332 503

## **S P E C I F I C A T I O N**

Of materials and workmanship to be used in the construction of:

### **Project address**

Stall 159, South Melbourne Market  
Corner Coventry Street & Cecil Street  
South Melbourne, Victoria 3205

### **Project Description**

Works included internal remodelling of the existing Stall 159 within South Melbourne Market.  
New signage bulkhead & roller door wall enclosure to be provided to Stall premise. General upgrade including floor levelling, electrical works & sprinkler system are also required.

The project is to be constructed in **one stage**.

The construction working hours shall be within Stall 159 footprint to market's non-operational hours. The hours are as follows: Monday, Tuesday and Thursday from 7:30am to 5pm. Approval shall be required from the Superintendent for any Work carried out after hours on Market & Non-Market days.

### **Principal**

City of Port Phillip  
Corner Carlisle Street & Brighton Road  
St Kilda, Victoria 3182

Superintendent: Le-Hugh, Sinclair  
Tel: (03) 9209 6553  
Mobile: 0419 113 978

### **Architect**

K20.AU Pty Ltd  
t/a K20 Architecture  
325 Coventry Street  
South Melbourne, Victoria 3205

Associate: Anthony U  
Tel: 9699 4440  
Fax: 9699 5550



**Building Surveyor**

Building Solutions Victoria Pty Ltd  
202 Bank Street  
South Melbourne, Victoria 3205

Surveyor: Bill Yannelis  
Tel: (03) 9209 6254  
Fax: (03) 9209 6354

**Structural Engineering**

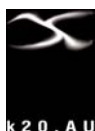
HB Civil & Structural Engineer Pty Ltd  
391 Swan Street, Richmond, Vic 3121

Director: Paul Contos  
Tel: 0403-888-420



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## SECTION 01000 \_ PRELIMINARIES

### 1.1.0 General conditions

#### 1.1.1 Interpretations

The words "superintendent", "principal", "contractor" and "contract" have the same meaning, respectively, as "architect", "Principal", "builder" and "agreement", unless the context requires otherwise.

Cross reference: The sub-clause **Interpretations**, in the *General building requirements* section, also applies.

#### 1.1.2 Commencement of Work

Notwithstanding that possession of the site has been given to the Contractor, the Contractor shall not be permitted to commence work on the site until he has provided :

- A. Security required by the Conditions of Contract
- B. Insurances and CERTIFICATES OF INSURANCE.

#### 1.1.3 Contract Stamp Duty

If contract is liable to stamp duty, the Contractor shall provide to the Superintendent at time of signing the contract, duty stamps to the value required by the state in which the project is being constructed, together with one new copy of the printed Conditions of Contract being used in this project.

#### 1.1.4 Adjacent Premises

Ensure that the work is carried out without damage to and with a minimum of nuisance or annoyance to the occupants of adjacent premises.

#### 1.1.5 Wages, Allowance, Superannuation

The Contractor shall allow for, but not be limited to, all allowances, overtime, bonuses, height money, incentive payments, protective clothing, superannuation and any other charges and payments required to meet the requirements of any current industrial requirements in connection with the completion of the Contract. No Contract Sum adjustments shall be made for the cost of wages, site and industry allowances, clothing and food allowances and industry superannuation, long service leave and redundancy contributions or the like, including increases in such costs.

#### 1.1.6 Pay As You Go tax (PAYG)

The Contractor shall allow in Contract Sum for all administration and financing costs related to the Pay As You Go (PAYG) requirements under current Tax Legislation and Regulations.

#### 1.6.7 Method of Measurement

The method of measurement of the works shall be in accordance with the principles of the Australian Standard Method of Measurement of Building Works. Refer to AS 1181 for other Civil Engineering work.

### 1.6.8 Labour Relations and Industrial Disputes

Subject to the following paragraphs of this sub-clause, all Trade Union and industrial disputes and claims so far as they affect or involve the Works shall be dealt with by the Contractor.

Whenever questions arise in connection with Trade Union and industrial disputes and claims which may reasonably be expected to have an effect on the construction period or the total cost of execution of the Works the Contractor shall consult with and pay due regard to any expressed view of the Principal through the Superintendent.

The Contractor in dealing with such disputes and claims shall himself implement and shall use his best endeavours to have the relevant Unions implement such dispute prevention and settlement procedures as may have been agreed up on between the Contractor and the relevant Unions or as may be required in terms of any Industrial Legislation.

Subject to General Conditions 35.5 and 36 as amended in the Annexure Part B, all costs associated with settling any

industrial disputes on this project shall be deemed to be included in the Contract Sum and the Contractor is not entitled to additional cost reimbursement for those costs.

## 1.2.0 THE SITE

### 1.2.1 Site restrictions

The work of this section includes but is not limited to the following items:

Stall 87 at South Melbourne Market will continue to be occupied during the contract period.

The existing market is of historical significance. The Contractor shall protect from damage all items to remain. The Contractor shall identify and report to the Superintendent any impact or change to the existing building other than those documented.

Prior to site occupation the Builder shall meet with the Project Control Group and Superintendent to ascertain the extent of area for site occupation during the performance of the contract.

The Contractor is to provide a site plan clearly identifying position of all security fencing, hoarding, barricades and signage. This is to include required areas for storage and site amenities for approval by Superintendent prior to occupation of site.

Access to affected works area is to be coordinated with the market non-work days (Monday, Tuesday & Thursday). Contractor to confirm with Principal and submit program of the work. Route clearances of the market and its associated supporting functions including egress, car parking etc. are to be maintained during this time.

It is anticipated no occupation of the site in front of the aisle/corridor shall be accepted during market operation day (ie. Wednesday, Friday, Saturday & Sunday). Access to the existing ramp on the west side of the Stall to be maintained throughout the works.

The Contractor is deemed to have inspected the site and made due allowance for any site limitations.

### 1.2.2 Protection of persons and property

Temporary works: Provide and maintain required barricades, guards, fencing, hoarding, shoring, temporary roadways, footpaths, signs, lighting, watching and traffic flagging. Submit & provide detail of proposed hoarding to Council for approval if any of the hoarding is to occupy any portions of existing aisle.

Damage to services: Do not obstruct or damage roadways and footpaths, drains and watercourses and other existing services in use on or adjacent to the site. Determine the location of such services. Rectify immediately any obstruction or damage to such services and provide temporary services whilst repairs are carried out.

Damage to property: Do not interfere with or damage property which is to remain on or adjacent to the site, including adjoining property encroaching onto the site, and trees. Rectify immediately any interference or damage to such property.

### 1.2.3 Existing services

The Contractor shall locate all existing services on Site prior to commencement of the Works. The Contractor is to bear all costs associated with the location of services. The Contractor shall contact all public utilities and liaise with the Principal prior to the commencement of the Works, to ascertain the precise location of all in ground and above ground services in the vicinity of any proposed excavation or demolition.

The Contractor is to engage a specialist services locator to identify the location of all known and unknown services. A marked up plan showing the location of existing services must be provided to the Superintendent prior to commencing any of the Works.

The Contractor shall attend to existing services as follows with costs included in the Contract:

- a) If the service is to be continued: repair, divert or relocate as required. If such a service crosses the line of a required trench, or will lose support when the trench is excavated, provide permanent support for the existing service.
- b) If the service is to be abandoned: cut and seal or disconnect, and make safe (including removal of plumbing dead-legs) and note location on “As Built” documents.

All costs associated with repairing, diverting or relocating services to be continued or cutting, sealing and disconnecting unwanted services are to be borne by the Contractor.

#### **1.2.4 Adjoining property**

Notice: At least 5 working days before commencing work, submit to owners and occupants of adjoining stalls written notice of intention to commence work and an outline description of the type and extent of work.

Revealed encroachments: If the works reveal unknown encroachments of adjoining property on to the site or of existing site structures on to adjoining property, immediately seek instructions.

Also refer item 1.2.10. Records: For all adjoining properties:

- a) inspect the properties with the superintendent and owners and occupants of the properties, before and on completion of the works;
- b) at the initial inspection, make detailed records of conditions existing within the properties, especially structural defects and other damage or defacement; and provide a thorough photographic record of surfaces of existing buildings adjacent to the site.
- c) arrange for at least 3 copies of each record, including drawings, written descriptions, and photographs, to be endorsed by the owners and occupants, or their representatives, as evidence of conditions existing before commencement of work.

Endorsed copies: Submit one endorsed copy of each record to the architect and the adjoining owner. Keep the other endorsed copy on site.

- a) Purpose of submission: Information only.

#### **1.2.5 Approvals, Services, Fees And Tax**

- a) Be responsible for the connection of services, water, sewerage, drainage, electricity and gas etc. Apply for such permits, pay for fees and charges levied by relevant bodies for such connections. Issue necessary notices to such bodies. Obtain and pay for scaffolding permit.
- b) Pay tax on items where such tax is applicable. If tax is not applicable, request from the Principal, via the Architect, a tax exemption certificate for use when ordering specified materials.
- c) Pay fees, where applicable, relating to “Workplace health and Safety” Acts and other state or local government acts.

#### **1.2.6 Site Control**

- a) Be responsible for activities on the site including providing access for authorised persons and restricting access by unauthorised persons. Take necessary precautions to secure the assets of the Principal.
- b) Except as otherwise provided in the contract, delivery of materials for the works, space for storage of same and for building sheds, office and workStalls will be allowed only as directed by the Contractor.
- c) Do not store waste building materials and flammable liquids in the building.
- d) Take proper precautions to keep poisons and other injurious substances in places secured against access by unauthorised persons.

#### **1.2.7 Compliance with Ordinances, etc.**

Comply throughout with the requirements of relevant sections of the Building Code of Australia.

Whenever work or type of plant or machinery, etc. is required either by the specification or by the relevant statutory



authority, provide full details of such work, plant, etc. to the relevant statutory authority and make such applications, etc. as may be required within two weeks of receipt of Letter of Acceptance.

In such cases, approval given by the Superintendent to data submitted by the Contractor will not necessarily imply that such data meet the requirements of the relevant statutory authority.

#### **1.2.8 Sub-Contractors and Suppliers**

Within seven days of receipt of the Letter of Acceptance, supply to the Superintendent a complete list of Sub-Contractors and Suppliers proposed for the Works. The Principal, through the Superintendent, reserves the right to reject any so listed.

#### **1.2.09 Testing of Existing Services**

The Contractor must test all existing services in accordance with current standards prior to commencing any of the Works to ensure their integrity. Results of these tests must be provided to the Superintendent and the Project Consultants.

#### **1.2.10 Dilapidation Survey**

The Contractor shall employ a suitably qualified and experienced consultant to prepare a dilapidation survey of the Site and adjoining areas, including all existing fences, buildings, roads and crossovers. The dilapidation survey is to include a written description and comprehensive photographic record of existing conditions.

The Contractor shall submit three copies of the dilapidation survey to the Superintendent. The dilapidation survey shall be provided in A4 format and should include diagrams and drawings of the premises to accompany and clarify the photographs and text.

Prior to the commencement of any work on site, the Contractor shall arrange for a joint inspection of the premises by his nominated representative, the Superintendent and the Principal.

If the dilapidation survey does not record the condition of the buildings or any part of the buildings, it shall be deemed that there are no defects or damage.

Any subsequent damage to these premises shall be made good by the Contractor at his expense. Should the Contractor notice damage done by others he must immediately notify the Superintendent.

The Contractor shall maintain fortnightly inspections to investigate any evidence or claims of damage to adjoining areas as a result of the execution of the works and keep records of any investigations on site and make them available for inspection by the Superintendent until Practical Completion of the Contract.

#### **1.2.11 Continuous Supply**

Continuous electrical (power, communications, data, etc) supply shall be maintained by the Contractor during construction.

The Contractor shall undertake works outside market operation times as necessary to minimise disruption to market operation. The Contractor shall allow for works over non-market days and at periods to minimise disruption wherever possible.

#### **1.2.12 Site Allowance**

The Contractor shall allow for any net Site Allowance, which may be applicable to this project, including all on-costs. Site Allowance shall be in accordance with the Contractor's current Industrial Instrument and shall be wholly included in the tender price.

### **1.3.0 MOBILISATION**

Prior to the Contract Program start date as listed in signed contract start date, the Contractor shall:

- a) Meet with the Principal and Superintendent to establish traffic management requirements for maintenance of the Principal's logistical movements during the construction period and confirm airborne particle control strategy;
- b) Submit a construction programme in accordance with the contract to the Superintendent for review;
- c) Submit site specific Occupational Health and Safety, Quality Assurance and Environmental/Waste documentation as specified in this document;
- d) Undertake Contractor Induction with the Principal's Engineering Department;



- e) Establish a thorough understanding of the Principal's notification and services interruption procedures;
- f) Meet with the Principal's Occupational Health & Safety and Environmental Control representatives to ensure any Safety or Environmental Control requirements are clearly understood and agreed;
- g) Let primary subcontract trades and advise the Superintendent of all subcontractors to be engaged;
- h) Allow to carry out a Dilapidation survey and provide a report with photos on the existing conditions prior to starting the works and inspect adjoining premises before commencing work;
- i) Confirm Site Representatives;
- j) Establish Site facilities and amenities;
- k) Prior to commencement on Site, the Contractor shall submit to the Superintendent complete compliance documentation which shall include:
  - a. Public Liability Insurance Certification; and
  - b. WorkCover Certificate of Currency;
- l) Provide Contractor's All Risk Insurance;
- m) Provide all required insurances to protect adjoining properties, including the council site outside the Work Site;
- n) Pay all Permit fees to local authority / Building permit fee / maintain Town Planning Permit conditions; and
- o) Provide a Building Practitioners Registration name for carrying out the construction works, all road permits, Council, Vic Roads, footpath, and temporary crossover permits.

### 1.3.1 Site Establishment

During the Mobilisation Period, the Contractor is to establish his Site accommodation including Site fencing and/or hoarding. Use of amenities within the Market shall be to the direction/approval of the Superintendent. All facilities must be adequate to meet any OH&S and industrial relations standards.

The Contractor is responsible for liaising with Authorities to establish all requirements in relation to Site establishment and shall cover all costs associated with hoarding permits, cross permits etc..

### 1.4.0 PROVISIONAL SUMS

#### 1.4.1 Provisional Sums

**Requirement:** Include in the tender sum, the provisional sums as listed in the Schedule of Monetary Provisions, which is included as a Contract Document.

### 1.5.0 ADMINISTRATION

#### 1.5.1 Site meetings

Hold and attend site meetings as required by the Superintendent.

#### 1.5.2 Site Documents

The Contractor shall keep a copy of the current drawings and specifications available on Site for the duration of the Contract, properly registered, maintained and up to date, including copies of the approved Building Permit documents.

#### 1.5.3 Progress Claims Statement

The Contractor shall submit to the Superintendent with each Progress Claim a signed statement, together with all documentary evidence as may be requested by the Superintendent, that:

- a) Sub-Contract payments due for work done the previous month and included in the previous month's Progress Claim have been paid;
- b) Wages due to employees, subcontractors' and suppliers' engaged on the Works and included in the Progress Claim have been paid;
- c) Insurances required under the Contract are current;

#### 1.5.7 Timing

The Contractor is to submit to the Principal full pricing of any claim for variation in a timely manner. A full breakdown of the variations is to be provided, including individual subcontractor prices.



### 1.5.8 Minor Items

Minor items not expressly mentioned in the Contract but which are necessary for the satisfactory completion and performance of the work under the Contract shall be supplied and executed by the Contractor without adjustment to the Contract Sum. Variations submitted contrary to the intent of this clause shall not be allowed.

### 1.5.9 Project Program

The Contractor shall keep and maintain an update to date project program for the duration of the project works. The project program shall be provided with each progress claim and shall show percentage complete against each of the trades and works stages.

## 1.6.0 EXECUTION OF THE WORKS

### 1.6.1 Surveys

The Contractor shall ensure that Works are set out in accordance with the drawings.

The Contractor shall verify all dimensions, bearings, levels and the existence of services. The Contractor shall be responsible for the correct setting out of the building and for the accuracy of the whole of the Works and shall make good, at the Contractor's expense, any errors that occur.

The Contractor shall after setting out the Works, submit to the Superintendent a survey drawing obtained from a Licensed Surveyor, certifying that the Works have been laid out in accordance with the Contract and in particular with the drawings.

The Contractor shall refer to the Superintendent for instructions in the case of any discrepancy between drawings and physical features on Site. In doing so the Contractor shall present to the Superintendent its recommended solution.

The Contractor shall co-ordinate and is fully responsible for the accurate and comprehensive setting out of the Works, including but not limited to:

- a) Finished levels of all floors;
- b) Walls, floor, ceiling outlets and other services, including those in false ceiling spaces or cast into concrete elements; and
- c) The buildings and subsequent erection thereof in accordance with the documents within the boundaries of the Site.

### 1.6.2 Contractor Supplied documents

Where the Contract requires the Contractor to supply documents such as Stall drawings, technical schedules or other written information, supply sufficient copies so that:

- a) a copy may be retained by each interested party including the Superintendent; and
- b) after examination, the copies required by the Contractor for his own use may be returned to the Contractor, together with a copy to be left on site and available for reference.

All other requirements in accordance with the Contract and Project Specification.

Documents shall be supplied in sufficient time for examination, and revision if necessary, to occur before they are required for use.

### 1.6.3 As-Built Drawings

During construction the Contractor shall keep accurate records of the exact size and location of all service pipes, ducts etc, including all branches, changes in direction, fittings, cocks, points of access, cleaning and access manholes, sumps and junctions.

Prior to Practical completion of the works, prepare and submit "As Built" drawings.

Before preparing final "As Built" drawings, the Contractor shall consult with the Superintendent as to the form of presentation required and the procedure to be adopted with the issue of these documents.

The Superintendent will supply free to the Contractor, on request, any available AutoCAD or Hardcopy Project drawings for the Contractor to record accurately and clearly document all relevant services details.

The Contractor is to provide three (3) sets of final "As Built" drawings for:

- a) All essential and non-essential services
- b) Structural (Stall drawings)



- c) Electrical Services (power, data, telephone, lighting)
- d) Mechanical Services (locations, conduits, etc..)

### 1.6.5 Stall Drawings

Where required by the Specifications, the Contractor shall provide comprehensive Stall drawings with all relevant information sufficient for all particulars to be examined, including without limitation plant layout, pipe work layouts, electrical layouts, switchboard construction and electrical power and control wiring schematics, piping schematics, air schematic and any other Stall drawings specified elsewhere.

Drawings shall be thoroughly co-ordinated with other trades. No entitlement to variation under the Contract arises where this has not occurred.

The Contractor shall provide drawings to accurately indicate the size and location of openings in walls, roofs, floors and for all plinths, bases and any other builder-type work.

No on-site work or off-site manufacturing shall be undertaken until all relevant drawings have been reviewed and approved by the relevant design consultant in writing.

### 1.6.6 Witness Testing

Practical completion requires that the Contractor has demonstrated, to the satisfaction of the Superintendent, including testing required by the Superintendent, that all services, including services which existed prior to the commencement of the Works and which interface or interact with the Works, perform as required by the Contract under the maximum operating conditions. Those parts of the Works which comprise of plant and equipment and all mechanical, electrical, fire protection and other services are:

- in continuously useable condition under the maximum operating conditions for the Works provided for in the Contract and simulated emergency operating conditions or, if none are expressed, which could reasonably be anticipated by a competent and experienced contractor; and
- meet all requirements for emergency operating conditions which could reasonably be anticipated by a competent and experienced contractor;

To achieve the above requirements, the Design Engineers, the Contractor and the Principal will need to witness test the operation of all such items, including those described below:

## 2. Fire Services

The various testing authorities have carried out an independent test of the fire services and provided certificates to that effect. (Eg. sprinkler system).

Witness the operation of the following items:

- Smoke detectors
- Sprinkler system

## 3. Electrical

- Lighting system (switching and 100% lighting at power failure)
- All power points are working and safety protected

### 1.6.7 Materials and Work

#### 1.6.7.1 General

Where there are conflicting requirements between drawings and the Specifications (or within the drawings or Specification), the Contractor is to confirm actual requirements with the Architect prior to proceeding with any of the Works.

#### 1.6.7.2 Substitutions

The Contractor shall be deemed to have checked and satisfied itself that all materials specified in the Contract are obtainable. Any substitution of documented materials shall be to the Superintendent's written approval.

### **1.6.7.3 Standards and Legislative Requirements**

Unless otherwise specified in the Contract, and where applicable, materials and workmanship shall be in accordance with the relevant legislative requirements and to standard of the Standards Association of Australia.

The standard applicable to the Works shall be the edition last published prior to the closing date for tenders unless otherwise specified.

The Contractor shall comply with quality procedures as laid down in Australian Standards all to the entire satisfaction of the Superintendent.

### **1.6.8 Architectural & Services Co-ordination**

Comprehensive coordination of architectural and services and associated building work shall be the Contractor's responsibility.

The Contractor shall be responsible for the detailed coordination of all engineering services, including structural, mechanical, electrical, communications and fire services.

All services shall be thoroughly coordinated prior to installation. Should work proceed without coordination being undertaken and should any trade subsequently not be able to effectively proceed with their respective installation, the work initially undertaken shall be removed and reinstalled. Claims for an increase in the Contract Sum shall not be approved should they be due to a lack of effective coordination.

The layout of plant and equipment as shown on the Drawings is diagrammatic only. Contractor to obtain measurements and other information necessary from appropriate site investigation during construction to carry out the Contract.

The services drawings and specifications are to be read as a complete set (i.e. not as individual trade sets). Items of work on the drawings or in the specifications shall be interpreted as complete items i.e. install hot water service complete (including all hydraulic, electrical, mechanical, fire and building works to complete the item).

### **1.6.9 Workmanship**

All workmanship shall be of a high standard throughout.

Only suitably licensed tradespersons shall be employed on work that any authority having jurisdiction requires to be carried out by licensed tradespersons.

Where the workmanship is not consistent with good trade practice or standards, or where any plant is inferior in quality to that specified, the work shall be made good. Rejected work or materials shall be removed from the site within 24 hours of such rejection. Defective work shall be reconstructed to conform to the specified requirements.

### **1.6.10 Site Behaviour**

The Contractor shall ensure that the behaviour of workers on the Site does not offend the occupants of either the council or adjoining properties and shall remove from the Site anyone whose behaviour is unacceptable to the Principal. This shall include the requirements for:

- a) No pets
- b) Music or radios allowed but to acceptable noise level (privilege at discretion of Superintendent)
- c) No swearing
- d) No abusive language
- e) No drugs or alcohol
- f) Council enforces a no smoking policy across the entirety of its site

### **1.6.11 Protection of the Site**

#### **1.6.11.1 Temporary Works**

The Contractor shall, at his own cost, provide, erect and maintain all barricades, guards, fencing, temporary roadways, footpaths, signs and lighting and provide and maintain all watching and traffic flagging lawfully required by any Relevant Authority necessary for the protection of the Works or of other property or for the safety and convenience of the Council occupants, and shall remove the same when no longer required. All Temporary Works required, for the protection of persons and property will be to Superintendent's entire satisfaction and to his sole discretion.

**1.6.11.2 Damage to Services and the Like**

The Contractor shall avoid obstruction or damage to roadways and footpaths, drains and watercourses and public utility and other services on or adjacent to the site which are visible, or the location of which can be ascertained by the Contractor from the appropriate authority or from the Contract. The Contractor shall remove any obstruction immediately and make good any damage at his own cost, in default of which the Principal may employ and pay others to execute the work and recover the cost as a debt due to the Principal from the Contractor under the Contract.

**1.6.11.3 Damage to Property**

The Contractor shall avoid interference with, or damage to, property on or adjacent to the Site, and shall provide temporary protection and shall repair and reinstate all damage caused thereto by the Contractor either directly or indirectly at his own cost.

**1.6.11.4 Nuisance**

The Contractor shall prevent nuisance to the owners, tenants or occupiers of properties on the Site or adjacent to the Site, and to the public generally.

**1.6.11.5 Pedestrian and Vehicular Access**

It is imperative that the Contractor and/or his Subcontractors (Selected or otherwise), at all times maintain proper and effective pedestrian and vehicular movement around the site giving adequate access to Market occupants and other traffic. A directive given by the Superintendent to remove any obstruction, be it a barricade, hoarding, parked trucks or the like must be complied with immediately on receipt such a directive (including orally), in default of which the Principal may employ and pay others to execute the work and recover the cost as a debt due to the Principal from the Contractor under the Contract. It is noted that emergency vehicles require access to the site at all times and under no circumstance is their safe access to be impeded. Downtime for any such occurrence is deemed to be included in the Contract.

**1.6.12 Site Security**

**1.6.12.1 Contractor's Responsibility**

Nothing in this clause shall relieve the Contractor from responsibility for care of the Works. The Contractor shall provide security for the Site and the Works. Security shall be to the satisfaction of the Superintendent and shall include, without being limited to, the secure locking and barricading of the Site and the Works and, the appointment of watchmen and/or security service personnel to patrol the site and the Works. The Contractor shall provide such security until the Works have reached Practical Completion. The Contractor is to insure the works for theft and vandalism under the Contract.

**1.6.12.2 Tenant Security**

If security is breached, for whatever reason, the Contractor shall immediately make good and reinstate such security. In any event all facilities generally must be secured overnight and during non-construction hours. Any costs incurred by the Principal to reinstate security breached by the Contractor will be charged to the Contractor and the Principal may recover the costs as a debt due from the Contractor under the Contract. Where after-hours access is approved by the Superintendent the Contractor shall be reimbursed for the cost of any additional security required by the Principal and such cost shall be a variation to the Contract Sum.

Accidents: Promptly notify the superintendent of the occurrence of the following:

- a) Accidents involving death or personal injury.
- b) Accidents involving loss of time.
- c) Incidents with accident potential such as equipment failure, slides and cave-ins.

Accident reports: Submit reports of accidents.

- a) Purpose of submission: Information only.

**1.6.13 Weather**

The Contractor shall take all necessary precautions to protect the Works from damage by inclement weather or any other cause. The Contractor is responsible for any repairs as a result of inclement weather. Provision of weather



protected walkways to the Site from the Site amenities to ensure personnel can access the Site at all times is the responsibility of the Contractor.

**1.6.14 Pollution of Adjacent Areas**

The Contractor shall take all precautions necessary to prevent the discharge of mud, dust, water, fumes, smoke, rubbish, and other pollutants from the Site to any adjacent areas.

**1.6.15 Protection of existing trees, landscaping and driveways**

Protect all trees, plants, driveways and landscaping features not required to be removed. A preliminary pegging shall be carried out by the Contractor before clearing, at which stage he shall at the direction of the Superintendent mark all trees and shrubs required to be retained.

**1.6.16 Site Reinstatement**

The Contractor shall reinstate, to a condition compatible with its original state, all parts of the Site and existing facilities or improvements that have been disturbed or damaged as a result of the execution of the Works. The Contractor shall clean and repair all damage including damage caused by temporary work and rectify all driveways and crossovers as part of completion of the Works.

**1.6.17 Rubbish**

The Contractor shall maintain the site and works in clean condition and remove waste materials and debris as they accumulate. The Contractor shall ensure that no waste or debris is dumped outside the working area and shall hose as required to lay dust. The Contractor shall provide fly proof rubbish bins for collection of domestic garbage, including cans and bottles originating on the Site, and arrange regular removal of garbage. The Contractor shall prevent infestation by vermin and insects.

The Contractor shall be deemed to have allowed for a washout facility, and working to Environment Protection Authority (EPA) requirements. The street or public areas are not to be affected by materials and roadways and paths are to be cleaned daily.

The Contractor shall allow to progressively clean the works on a daily basis. Any site cleaning costs incurred through failure by the Contractor to clean may be deducted from the Contract Sum.

**1.6.18 Environment**

The Contractor shall promptly notify the Superintendent of any occurrence of the following:

- a) emissions of pollutants to air, land or water; complaints from other council occupants or neighbours about pollution or noise; or
- b) incidents with potential for emission of pollutants; or incidents involving failure to comply with the site Environmental Management Plan.

**1.6.19 Adequate Supervision**

The Contractor shall provide constant and competent direction, co-ordination and superintendence of all trades in all phases and parts of the Works so as to comply with the required standards of the Contract.

**1.6.20 Adequate Facilities**

Contractor to provide, without cost to Principal's Contractors, or Selected and Nominated Subcontractors, all normal facilities for the proper performance of the works, including the following:

- a) access to the Site.
- b) access openings sufficient to enable necessary items to reach and/or be installed in their proper locations.
- c) necessary holes, openings, chases, recesses, pockets and the like, formed or cored in the work as it proceeds, for which sufficient particulars have been supplied in time .
- d) scaffolding and hoisting facilities as provided for, and during the period of, the Contractor's own use, including operators, but not labour for loading and unloading.
- e) artificial lighting where necessary in parts of the Works required to be used by Principals Contractors, Selected and Nominated Subcontractors for the purposes of access or otherwise and to the level



- recommended in AS 1680. Specific Task lighting is by the Principals, Selected or Nominated Sub Contractor.
- f) 240 volt/15 amp power supply is existing. Selected Subcontractors shall supply lamps, leads and the like for their own use and be responsible for all power requirements in excess of 240 volts, except as noted hereunder which the Contractor shall provide.
  - g) adequate temporary three phase power and cabling to points as required for testing of mechanical services.
  - h) sufficient water outlets around the Works including supply at no charge of all water required by Selected or Nominated Subcontractors for the purposes of this Contract. Selected and Nominated Sub -Contractors shall supply piping, hoses, buckets and fittings to take water from the outlets for their own use.
  - i) space that is available in close proximity for the erection of storage sheds or other structures that Principals Contractors, Selected and Nominated Subcontractors may be obliged to provide by the agreement or otherwise, provided that the Contractor shall not be responsible for the erection of any such sheds or other structures nor for loss or damage to any tools, materials or goods belonging to the Principals Selected or Nominated Subcontractors.
  - j) messing, changing and sanitary accommodation to suit industrial standard requirements.
  - k) first aid and safety facilities, including induction facilities.
  - l) The Contractor shall be responsible for cleaning and rubbish removal after works are completed by the Principals Contractors. The Contractor will be responsible for the provision of strategically placed waste bins and the removal and replacement thereof. Whilst it will be stressed to the Principal's Contractors and any Selected and Nominated Subcontractors that they will be responsible for placing their own rubbish in the bins so provided the Contractor is ultimately responsible to discharge this item.
  - m) Typical works that may be required to be completed by the Principal's Contractors prior to Practical completion are:
    - a) Installation of loose Furniture, Fittings and Equipment (FFE) (chairs, tables etc)
    - b) Installation of active IT gear and computers
    - c) Installation of active communications gear (PABX connections)
    - d) Stocking of stores
  - n) Any damage caused by the Principal's Contractors which is not the direct cause of the Contractor due to lack of coordination or provision of adequate facilities or enabling works will entitle the Contractor to a variation to rectify such damage. This entitlement does not extend to re-cleaning of areas.

## **1.7.0 CONTRACTOR SAFETY GUIDELINES**

### **1.7.1 Site Boundaries**

Site boundaries shall be separated from operational zones by hoardings.

Work areas, which are designated as restricted, shall display notices in accordance with the applicable Australian Standards for warning signs.

### **1.7.2 Site Security**

The Contractor shall be wholly responsible for the proper and adequate safeguarding of the works and of fixed and unfix materials and equipment on Site during both working and non-working hours. When the Site is left unattended, the Contractor shall ensure that as a minimum:

- a) all points of entry to the site are locked and any other access prevented;
- b) all cranes, earthmoving machinery and plant are locked to prevent unauthorised use;
- c) oxy cutting gear and power tools are stored in a locked room or container;
- d) all structures are left in a safe and stable condition;
- e) any loose demolition material such as roof sheets are firmly secured; and
- f) the site has been checked to ensure that no smouldering material remains.

The Process for securing the Site is to be agreed in consultation with the Building Surveyor and Superintendent to ensure that fire egress paths are maintained at all times.

No claim for extension of time or for extra cost will be allowed in respect of damage or loss of material or interruption of work due to any security breach or breakdown in the safeguarding of the Works. The Contractor shall replace all losses without cost to the Principal.



### **1.7.3 Electrical, Gas and Water Services**

All electrical, gas, water, sewer, steam and other service lines not required in the demolition and construction process shall be shut off, capped or otherwise controlled, prior to commencement of the work under the Contract. In each case any utility agency which is involved shall be notified in advance and its approval or services, as necessary, shall be obtained. Any additional costs associated by an OH&S incident caused by not adequately isolating services in a safe manner to enable work shall be borne by the Contractor.

Seventy two (72) hours prior to any disruption to facility services, the Contractor must submit a Request to Interference with Services or Safety Conditions (RISC) form and obtain Superintendent approval to proceed with the disruption.

### **1.7.4 First Aid**

Prior to the commencement of the work under the Contract, the Contractor shall make provision for prompt medical attention in case of serious injury.

### **1.7.5 Housekeeping**

Temporary electrical leads, hoses or pipes shall be suitably supported and adequately protected in order to prevent injury to pedestrians and damage to vehicles.

Unless otherwise agreed, the Contractor shall be responsible for ensuring the restoration of the Site to a condition that is free from risks to health and safety at the completion of the work under the Contract.

The Contractor shall be responsible for cleanliness, order and hygiene on Site. All materials required on Site shall be stored safely within the Site boundaries.

### **1.7.6 Cutting and Welding**

Where it is necessary to use arc or flame cutting and/or gas welding or the like, the Contractor and all subcontractors shall comply with relevant Australian Standards, together with all By-Laws, Regulation Acts, provisions of the project insurance policy and relevant authorities governing the use of the Site. This is in addition to any project specific requirements detailed in other Contract documents.

The Contractor shall include appropriate procedures for cutting and welding in the Occupational Health and Safety Site Plan, particularly regarding hot work permits.

### **1.7.7 Use of Work Platforms Lifting Equipment**

The Contractor shall ensure that:

- a) safe work platforms are used where work cannot be performed safely from the ground or from solid construction;
- b) scaffolding is based on solid foundations;
- c) care is taken to prevent damage to scaffolding planks and components from falling debris;
- d) damaged planks and components are removed and replaced by qualified scaffolders;
- e) working platforms are kept clear of debris;
- f) damage to scaffolding from on site vehicles and earthmoving machinery is prevented;
- g) all scaffolding conforms to the relevant Code of Practice;
- h) all scaffolding work, handrails, fall protection, platforms, powered mobile plant, lifting plant, lift trucks and lifts conform to the Occupational Health and Safety legislation and are the subject of risk assessment and measures pursuant to those Regulations; and
- i) so far as is practicable, no load is simultaneously lifted by more than one piece of plant, e.g. dual crane lift; and so far as is practicable, no load be suspended over or travel over any person.

### **1.7.8 Ladders**

The Contractor shall:

- a) inspect ladders prior to use to ensure that they are in good condition for safe operation;
- b) use ladders only for works of a minor nature in accordance with current OHS guidelines;
- c) secure all ladders top and bottom;

- d) ensure that only one person at a time works from a ladder;
- e) not over reach when using a ladder; and
- f) not carry out any cutting or work involving the use of power tools from a ladder.

#### **1.7.9 Fragile Roofs**

Where not specifically identified as in sound condition, roofs shall:

- a) be assumed to be brittle; and
- b) be covered and appropriate precautions adopted to prevent injury.

The Contractor shall carry out all work on roofs in accordance with the Code of Practice - Work on Roofs.

#### **1.7.10 Fire Protection and False Fire Alarms caused by the contractor**

The Contractor shall be responsible for fire protection at the Site.

The Contractor shall indemnify the Principal against any costs associated with false fire alarms caused by the Contractor or his subcontractors during all stages of the Works. The costs associated with any such false alarm shall be the Contractor's responsibility.

During demolition, the Contractor is to disconnect and isolate all smoke and thermal detectors required and store for reuse in the project if required.

Fire prevention shall be taken into consideration when determining work methods and selecting tools and equipment for use at the Site.

Fire alarms, fixed installations and ancillary equipment such as pumps and water supplies shall not be shut down or altered without the appropriate authorisation.

Temporary smoke detection/thermal detection shall be provided to refurbished areas and new building during construction as required by the Building Surveyor.

#### **1.7.11 Electrical Safety**

All electrical power tools, leads, site lighting and power supply shall be operated or connected in accordance with the Code of Practice for Temporary Electrical Installations on Building and Construction Sites. Prior to any works within a work area the Contractor is to ensure that all services are isolated and made safe for workers to commence and continue work in an area. This is the Contractor's responsibility. Should a delay be caused due to the Contractor's failure to comply with this instruction, no entitlement for cost of rectification works or Site delays shall apply.

#### **1.7.12 Personal Protective Equipment**

Personal protective equipment appropriate for the hazards associated with work being carried out by the Contractor and subcontractors shall be provided by the Contractor. The personal protective equipment shall comply with relevant statutory or Australian Standard specifications.

The personal protective equipment required shall be listed on a Risk Assessment Checklist Form.

The Contractor is responsible for ensuring that the personal protective equipment provided to employees is used where required.

The Contractor shall provide suitable storage facilities for personal protective equipment.

#### **1.7.13 Excavation and Trenching**

Any excavation and trenching work shall be carried out in accordance with the current OH&S legislation and Codes of Practice for Safety Precautions in Trenching Operations.

#### **1.7.14 Containers that have held combustibles**

Containers that have held combustible solids, liquids, gases or dust shall be rigorously cleaned by the Contractor to ensure that the containers are free of such material prior to any welding and cutting work.

#### **1.7.15 Confined Spaces**

When work is to be performed inside a container, vessel or other confined space, work shall be carried out in accordance with all current Occupational Health and Safety Legislation, Codes of Practice, and Australian Standards.

#### **1.7.16 Dangerous Goods Act and Regulations Compliance**



The Contractor shall comply with the provisions of current Dangerous Goods Acts and any relevant Regulations.  
No burning of materials is permitted on the Site.  
No explosives are permitted on the Site.

**1.7.17 No smoking policy**

Smoking is not permitted in any part of the Council buildings or grounds.

**1.7.18 Safety**

The Contractor shall promptly notify the Superintendent of any occurrence of the following:

- a) Accidents involving death or personal injury.
- b) Accidents involving loss of time.
- c) Incidents with accident potential, such as equipment failure, slides and cave-ins.

The Contractor shall submit reports of accidents of the Superintendent for the Principal's information.

**1.7.19 Access roads**

The Contractor shall use only designated roads or agreed roads and access ways. Existing roadways, aisle and car parks shall not be used without the prior written approval of the Superintendent.

The contractor is to ensure that all internal and external roadways are kept clear at all times.

**1.7.20 Protective clothing**

The Contractor shall provide protective clothing to relevant Australian Standards. A Standards Mark is required.

**1.7.21 Vibration**

The Contractor shall allow for the effects of vibration to adjoining occupied areas.

**1.7.22 Noise Control**

Noise must be kept within local authority Environment Protection Authority (EPA) specific requirements.

Proximity of the Site to operational offices is to be taken into account by the Contractor.

No entitlement to claim any cost or time will arise if the Contractor is instructed by the Superintendent to stop work due to excessive noise, if not notified and approved by Superintendent with sufficient notice.

The Contractor is deemed to have allowed for periods of cessation of noisy or disruptive works as required by the Principal's operations. Market operates during advertised working hours, hence advance notification must be provided to the Principal prior to commencing any noisy or disruptive works. These works must be ceased when directed by the Principal or Superintendent.

**1.8.0 PROGRAMMING OF THE WORKS**

**1.8.1 Working hours and overtime**

The Contractor's submitted project program is deemed to have been confirmed and coordinated with the Market's booking calendar.

The project shall be programmed such that the working hours shall be during non-market days being Monday, Tuesday & Thursdays and after hours work on Wednesday, Friday after 6pm. Working hours shall exclude public holidays and, where applicable, rostered days off in accordance with the current building industry agreement and or MABV working day calendar.

The Contract Sum shall be deemed to include for the noted hours and associated overtime and shift work beyond which is or becomes necessary to maintain progress in accordance with the Master Construction Program or any approved Construction Program prepared by the Contractor and to execute the work under the Contract within the time specified.

The Contract shall be deemed to include for any overtime and shift work, which is necessary to maintain satisfactory operations, working conditions and access as may be required by any staff who use or occupy the facility or portions thereof during the course of the Work.

The Contractor shall ensure that this overtime and shift work requirement is allowed for by Subcontractors, Selected or otherwise.

Tenderers shall allow for a working week in accordance with the programme required to complete the Works,



including all overtime and no daytime work on Market days.

#### **1.8.2 Construction Program**

The accepted construction program shall include scheduling, sequences, methods, and techniques in and about the construction of the Works and for the due performance of the Contractor's entire obligation under the Contract with respect to the progression and completion of the Works. The construction program shall be submitted with the accepted Tender.

#### **1.8.3 Staging of the works and progressive handover**

The project requires commencement as agreed in the accepted contract conditions and to maintain operation of Market throughout the construction program.

The project is proposed to be completed in 1 continuous stage which includes works such as structural, electrical, plastering, roofing and associated works to allow the continued operation of the market facility. Alternative options for staging are to be submitted by Contractor. Electrical and structural works are to be staged to ensure continued operation of the Market and connected market facility.

The Contractor shall carry out the Works in accordance with an approved Construction Program, or as otherwise directed by the Superintendent, the sequence of which may be altered, from time to time at the discretion of the Superintendent and at no additional cost to the Principal.

#### **1.8.4 After hours permits and approvals**

The Contractor is required to obtain all relevant permits associated with any after hour works which shall include providing notification to the market facility management team of the intended after hour works for their approval prior to commencement.

Any associated charges or other items with such applications will be borne by the Contractor. After hours work shall be required to meet timelines, there shall be no additional charge to the Principal for any after hour work.

#### **1.8.5 Proximity to Operational Stalls/Market Hall**

The Contractor must note that the spaces adjacent to the Site will remain occupied throughout the Works and the client's access, services, noise levels, environment conditions shall be minimized during the Works. Contractor to allow for any After hours work required for noise, access or material removal reasons, the Contractor shall allow for it within the Contract Sum, including the appropriate security requirements.

All public and staff access must remain available to the occupied areas of the market.

The Contractor is required to co-ordinate interruptions to Market services with the Superintendent during the Works.

### **1.9.0 SITE FACILITIES**

#### **1.9.1 Site accommodation – general information**

The tender price shall include allowance for any required Site accommodation which needs to be constructed and provided within the Work area or area adjacent to the site approved by Superintendent as per the requirements of the Contractor's current Industrial Instrument and industry standards. Site accommodation must include allowance for First Aid, Occupational Health and Safety manual.

Cost of reticulation and connection of services to be borne by the Contractor and cost of usage by the Principal.

Site drawings are to be provided by the Contractor to the Principal for site accommodation, access, hoardings etc.

Contractor to allow for what is necessary to complete the works in a safe manner and maintain access and business continuity for Market including emergency access/ egress for both pedestrians and vehicular traffic.

Contractor to allow for all hoardings to perimeter of site, hoardings as required for pedestrian access/ egress, gantries if required, fencing if required, and all shielding of Site.

Access to and from the construction zones will be via a designated route to be agreed with Superintendent.

#### **1.9.2 Contractor's Office**

If applicable to suit the size of project, Contractor shall provide temporary offices location to be approved by Superintendent for the performance of the Works, complete with external telephone, computer and fax facilities. The Contractor shall provide an office of sufficient size to accommodate formal Site meetings and provide suitable table



and chairs for Site meetings.

The Contractor is to provide a marked up drawing with the tender outlining the areas proposed to be used for Site facilities.

Alternatively, a space within the market building may be allocated for a temporary office. This shall be confirmed at Tender negotiation.

### **1.9.3 Temporary Services**

Any temporary connections to existing site services must be approved by the Superintendent / Market Management prior to the connection. Contractor to provide all temporary services for its trades to complete the works i.e. lights, electrical, water points etc.

### **1.9.5 Temporary Fences and Hoardings**

The Contractor shall provide, maintain and clear away at completion all temporary fences, hoardings and barriers necessary or required by local authorities for protection of persons, together with all associated temporary lighting and signage. The Contractor shall confirm hoarding requirement with Superintendent prior to site occupation. Refer note on drawing for hoarding details.

### **1.9.6 Traffic Management**

#### **1.9.6.1 Site Access**

All vehicles must enter and exit the site through the nominated entrances. To be confirmed with the Superintendent.

#### **1.9.6.2 Parking**

Contractor's vehicles shall not obstruct roads, driveways, escape routes from buildings or fire protection equipment and all speed limits must be defined, clearly displayed and observed.

There is no car parking provided for construction personnel at Market, unless it is within the contractors own Site compound.

Designated parking bays/areas off site must be marked up on Market Facility drawings. Alternatively, temporary parking permit may be available, Contractor to seek assistance from market management team.

#### **1.9.6.3 Traffic Management**

The successful Contractor shall liaise with the Principal and Superintendent during the Tender Negotiation Period to gain a clear understanding as to the operations traffic movements that exist on the Site and any traffic management that may be required to allow these movements to be maintained.

The Contractor is to allow for traffic management including internal aisle, external road and footpath, pedestrian and market control within, forklift path, entering and exiting the adjoining buildings.

Existing logistics and vehicular traffic paths must be maintained at all times during the works. Any traffic management, signage or protection required is the responsibility of the Contractor.

The Contractor is to make themselves aware of the traffic management requirements associated with work at this Site. No variation shall be granted for disregarding this advice.

Provide and maintain traffic control in accordance with the appropriate authority's requirements or as needed for the safety of persons and property.

Traffic management includes all painting of 'zebra crossings', line markings, construction of crossovers, all barriers, bollards, safety devices and warning signs required to maintain safe access / egress to construction / market traffic and access.

#### **1.9.6.4 Trucking**

The Contractor and all subcontractors shall convey soils, earth, sand, loose debris, and the like loose materials to or from the Site in a manner that will prevent dropping of materials in the market area, on streets or footpaths, ensuring that the wheels, tracks and body surfaces of all vehicles and plant leaving the Site are free of mud and that mud is not carried on to adjacent paved streets or other areas.

All debris, spoil, rubbish or materials shall be suitably contained and covered in vehicles during transportation to or

from the Site to prevent spillage or contamination of adjoining and other areas or property. The Contractor is to allow in his price provision for wetting down and covering of all vehicle loads.

#### **1.9.6.5 Emergency Vehicles**

There is no entitlement to claim any cost for ceasing works while emergency vehicles enter / exit the access road. The Contractor is **not** entitled to an Extension of Time for any such event.

#### **1.9.6.6 Material Deliveries**

All deliveries are to be made to the site and received by the Contractor. No storage will be provided within the Council site (outside of construction zone shown). Large deliveries must be co-ordinated with Council to prevent disruption to core services.

### **1.10 CLEANING OF THE WORKS**

#### **1.10.1 Cleaning up during Works**

The area outside the Works shall be maintained to cleanliness that is consistent with that is deemed acceptable by an operational Market facility.

Keep the Works clean and tidy as it proceeds and regularly remove from the site rubbish and surplus material arising from the execution of the work including any Works performed during the Defect Liability Periods or any operational maintenance period specified. Allow for additional cleaning in the event of unexpected contamination.

Vacuum work area with HEPA filtered vacuums daily or more frequently, where necessary.

Within seven (7) days from the Date for Practical Completion, remove all Temporary Works, Constructional Plant, buildings, workStalls and equipment not forming part of the Works, except such as are required for work during the Defect Liability Periods or any operational maintenance period specified and which shall be removed on completion of that work.

If the Contractor fails to comply with any obligation imposed by this clause the Principal may, after giving two (2) days notice in writing to the Contractor, have the work of cleaning or tidying up carried out by other persons and the cost incurred shall be recovered by the Principal as a debt due to the Principal by the Contractor.

#### **1.10.2 Final Cleaning**

The standard of Final Clean must be of first class office standard. As a minimum, the Contractor shall provide final cleaning of the Work at the time indicated, consisting of cleaning each surface of unit of work to normal 'clean' condition expected for a first class building cleaning and maintenance program.

The Contractor is to include in the Contract Price a "Builder's Clean" and a "Council Clean" prior to each area achieving Practical Completion.

Required cleaning includes, but is not limited to:

- a) Removal of labels which are not required as permanent labels.
- b) Clean transparent materials, including mirrors and window/door glass, to a polished condition, removing substances which are noticeable as vision-obscuring materials. Replace broken glass and damaged transparent materials.
- c) Clean exposed exterior and interior hard surfaces finished, to a dirt free condition, free of dust, stains, finger marks, films and similar noticeable distracting substances. Except as otherwise indicated, avoid disturbance of natural weathering of exterior surfaces. Restore reflective surfaces to original reflective condition.
- d) Wipe clean surface of mechanical and electrical equipment, including lifts and similar equipment; remove excess lubrication and other substances.
- e) Remove debris and surface dust from limited access spaces.
- f) Wash Clean concrete floors and remove all dust and stains.
- g) Vacuum clean carpet and similar soft surfaces. Shampoo if required.
- h) Clean plumbing fixtures to a sanitary and polished condition, free of stains including those resulting from water exposure.
- i) Clean light fixtures and lamps so as to function with full efficiency. Wipe down and ensure that at handover all fittings are clean of dust.

- j) If permanent lighting fixtures have been used for construction purposes, replace globes with new.
  - k) Seal all vinyl surfaces as per manufacturer's recommendations.
  - l) Clean project site, including planted sections and footpaths, of litter and foreign substances; pressure wash using recycled water paved areas to a clean condition; remove stains, petro-chemical spills and other foreign deposits.
  - m) Label keys for locks accurately and provide in duplicate to the Superintendent at the completion of the project.
  - n) Wipe down thoroughly all surfaces including workstations, filing cabinets and other loose items and all fittings and fixtures to ensure that the project is clear of dust and other particles.
  - o) Clean inside all joinery as well as external surfaces.
  - p) Clean all wall surfaces and touch up paint as required.
  - q) Clean Site and Access Roads.
  - r) Be responsible for maintaining clean roads and access. Remove and clean away mud and building debris from footpaths, gutters, drains, walls etc. when such occurs.
  - s) Clean all Fire Hose reel cupboards, distribution boards and plant spaces.
- Final clean to the satisfaction of the Superintendent is a condition precedent to Practical Completion. Any additional costs incurred by the Contractor as a result of a direction by the Superintendent for the Contractor to clean will not entitle the Contractor to a variation in any form.

### **1.10.3 Removal of plant**

Prior to practical completion, remove temporary works and construction plant no longer required. After practical completion remove the balance as soon as each item is no longer required.

### **1.10.4 Restoration**

Clean and repair damage caused by installation or use of temporary work and restore existing facilities used during construction to original condition.

## **1.11.0 SPECIAL PROVISIONS**

### **1.11.1 Client Training**

At least two (2) weeks prior to Practical Completion, the Contractor shall explain and demonstrate to the Principal's staff / management as directed by the Superintendent the purpose, function, maintenance and operation of the installations. The Contractor shall use items and procedures listed in the final draft operation and maintenance manuals as the basis for instruction and shall review in detail the contents of this activity with the Principal's staff or their operator's staff.

The Contractor shall conduct training at agreed times, at system or equipment location using a qualified manufacturer's representative who is knowledgeable about the installations.

For equipment requiring seasonal operation, the Contractor shall demonstrate during the appropriate season and within 6 months of Practical Completion.

The quality and level of the Client Training must be to the satisfaction of the Superintendent and the Contractor is directed to liaise with the Superintendent one month prior to practical completion to ensure compliance will be achieved.

### **1.11.2 Items Supplied By The Principal**

Reference is made to items being supplied and installed under the following groups:

- a) If applicable, to be nominated by the Superintendent.

### **1.11.3 Publicity**

All publicity in regard to this project (including the Works) is to be undertaken by the Principal. Under no circumstances shall the Contractor undertake publicity of any description without prior written approval by the Principal, which may be withheld at the Principal's discretion.

### **1.11.4 Salvage**



Where demolition work is undertaken, the Contractor shall salvage those items indicated for reuse or relocation, and, where necessary, clean and refurbish to an “as new” or operational condition, as appropriate.

List of items to be forwarded during tender period of items for salvage of denoted Works area and associated areas.

List will appear as follows:

Ensure all materials to be retained on Site have been protected and safely stacked.

Any historical items/ items of value recovered remain the property of Council.

#### **1.11.5 Special scaffolding, working decks and temporary access**

The Contractor is to provide and allow all costs for the provision of special scaffolding, working decks and temporary access ways where the working platform exceeds 4.5m in height. The Contractor is to ensure that the scaffolding so erected is fit for its purposes, complies with industry standards, and is kept in position for sufficient duration to allow all Subcontractors, Selected Subcontractors and Nominated Subcontractors to adequately complete the Works.

#### **1.11.6 Hoardings and gantries**

The Contractor shall construct and maintain hoardings, gantries and directional signage in accordance with the requirements of the program, Relevant Authorities and to the entire satisfaction of the Superintendent.

The Contractor shall maintain the hoardings and gantries in good clean condition until removal, pay all rents, fees, rates, taxes and charges thereon, and insure against fire, loss, damage, and the like, for not less than the replacement value.

Costs of providing all such hoardings, gantries and directional signage to the entire satisfaction of the Superintendent to be borne by the Contractor.

#### **1.11.7 Latent conditions**

Under the Contract, the following are not considered to be Latent Conditions:

- a) Hazardous materials as noted on the plans or in the reports of the Contract Documents.
- b) Any other physical condition that can be clearly identified prior to Construction.

The Contractor is deemed to have examined the physical conditions and characteristics of the Site, including sub-surface conditions, fully and carefully and to have satisfied himself on all matters pertaining thereto which could affect any aspect of the construction in the Contract Sum.

#### **1.11.8 Airborne Particle Control Requirements**

The Contractor shall implement an airborne particle control regime in consultation with the Market Management and the Superintendent with the objective of:

- a) Controlling the production, distribution and migration of construction airborne particle created during the works, in order to facilitate the continued cleanliness and normal high quality air quality for the operational office areas via negative pressure HEPA filtered vacuum.
- b) Mitigating and minimising the risk of Council acquired infections such as aspergilli and bacilli related to the generation and/or migration of construction airborne particle through such measures as sealing air intakes to affected areas and sealing windows and unused doors to Works areas.

The regime shall include activities to control and manage the risk by on-site particulate monitoring. Particular monitoring will be undertaken by the Principal prior to commencement of construction to establish a base line, during construction to establish the increase (if any) in particulates, and after completion of construction to reassess the base line. Sample point locations shall be both interior and exterior and shall be priority selected in accordance of risk probability and risk consequence.

The following elements are considered to be included in the Contract, and are not deemed to be included in the provisional sum:

- a) Wetting down of the Site to control dust generation.
- b) Trucking
- c) Cleaning of carpets/ mats surrounding areas where construction personnel enter/ exit construction areas, if required, to eliminate the tramping of dust through market areas.
- d) Keeping Site clean and clear of debris as far as practical.

- e) Wetting down material on trucks on all loads prior to leaving compound, provide moist covers prior to transport and/ or use closed containers for removal of debris.
- f) Preliminary sealing and protection of adjacent areas from dust.
- g) Superintendent has the right at any time during the completion of the works to instruct the contractor to cease work if control measures are not adequate or need to be reviewed.
- h) Traffic control to include signage to direct staff and visitors away from construction areas. Separate entry/ exit for builders. Builders must avoid office areas in order that minimal debris can be transferred from the construction site to the cleaner areas of the facility.
- i) Construction workers should be free of debris and dust on exiting the construction site.
- j) Entry adjacent to aisle and neighbouring Stalls to be vacuumed and cleaned at end of each day.
- k) Waste must be removed through a designated route avoiding public areas.
- l) Vibration as a result of drilling has the potential to dislodge dust collected above suspended ceilings and loosen corrosion within water pipes thus vacuuming of affected areas and flushing debris from water systems may be required.
- m) Monitoring for potential water contamination and taking remedial action where necessary.

No entitlement to claim any cost or time should the Contractor be instructed to stop works by the Superintendent for failure to apply adequate control measures as agreed and set down during construction.

**END OF SECTION**

## SECTION 02000\_GENERAL BUILDING REQUIREMENTS & CONDITIONS OF CONTRACT

### 2.1.0 GENERAL

#### 2.1.1 Information to Subcontractors, Suppliers and Installers

Advise Sub-contractors and suppliers and installers of material of the requirements of these Conditions of Contract.

#### 2.1.2 PRECEDENCE

Requirements of individual technical sections of the specification override conflicting requirements in this section.

#### 2.1.3 Referenced documents

Current editions: Use referenced documents which are editions, with amendments, current 3 months before the closing date for tenders, except where other editions or amendments are required by statutory authorities.

Contractual relationships: Responsibilities and duties of the principal, contractor and superintendent are not altered by requirements in referenced documents.

#### 2.1.4 Interpretations

General: Unless the context otherwise requires, the following definitions apply:

- Supply: "Supply", "furnish" and similar expressions mean "supply only".
- Provide: "Provide" and similar expressions mean "supply and install".
- Approved: "Approved", "reviewed", "directed", "rejected", "endorsed" and similar expressions mean "approved (reviewed, directed, rejected, endorsed) in writing by the superintendent".
- Give notice: "Give notice", "submit", "advise", "inform" and similar expressions mean "give notice (submit, advise, inform) in writing to the superintendent".
- Obtain: "Obtain", "seek" and similar expressions mean "obtain (seek) in writing from the superintendent".
- Proprietary: "Proprietary" means identifiable by naming manufacturer, supplier, installer, trade name, brand name, catalogue or reference number.
- Samples: Include samples, prototypes and sample panels.

Abbreviations:

- GPC: Government Paint Committee.
- NATA: National Association of Testing Authorities.

#### 2.1.5 Interpretation of Drawings

Check dimensions on site before proceeding with the work of the contract. Notify Architect of omission or conflict in drawings and their relation to specifications.

#### 2.1.7 Precautions in Carrying Out Work Under the Contract

Unless otherwise specified in the contract, observe, in the absence of statutory requirement to the contrary, the relevant current Australian Standard published by Standards Australia relating to storage, transport, use of materials, explosives, fire precautions in arc or flame cutting flame heating and arc or gas welding operations, plant and equipment, work processes and safety precautions.

#### 2.1.8 Joining Up to Existing Buildings

Where the method of joining up of old and new work is not otherwise specified, the cutting away and joining up shall be carried out in a manner approved by the Architect and made good by relevant trades to match existing adjacent work.

#### 2.1.9 Interference with Existing Services

Notify the Superintendent of connection, disconnection or interference with existing services.

Repair, to the satisfaction of the Superintendent, damage which occurs to services during currency of the contract.



### **2.2.0 Damaged Services**

Where existing services at or adjacent to the site are in non-optimum condition, arrange for an inspection by the Architect and the Officer-in-charge of the area responsible for such service. At such meeting, record the condition and follow instructions when issued in writing by the Architect.

### **2.2.1 Solid, Liquid and Gaseous Contaminants**

- A. Be responsible for the proper disposal of solids, liquid and gaseous contaminants.
- B. Discharge gaseous contaminants in such a manner that they will be sufficiently diluted with fresh air that the toxicity will be reduced to an acceptable level.
- C. Subject to statutory and local requirements, liquid contaminant may be diluted with water to a level of quality acceptable in the sewer system or contained in approved vessels for disposal at sites approved by the relevant Authority.
- D. Dispose of solid contaminants by removal from the site to locations approved by the relevant Authority.

### **2.2.2 Disposal of Refuse**

Refuse from construction operation (including food scraps and the like) shall be removed from the site at frequent intervals, refer also Section 01000 Clause 1.9.0.

### **2.2.3 Inspection Notice**

General: If notice of inspection is to be given in respect of parts of the works, do not conceal those parts without approval.

Minimum notice for inspections to be made: 2 working days.

### **2.2.4 Waste Management Plan**

The contractor is to establish and maintain an Environmental Management Plan/System and provide appropriate verification for the works including management and coordination of the environmental management systems and appropriate verifications of the subcontractors' works, generally in accordance with AS/NZS ISO 14001:1996 Environmental Management standard. The Environmental Management Plan/System shall be to a level of detail required by the Superintendent and is subject to approval prior to implementing. This will include monitoring and auditing the activities of the works, including subcontractors both on and off Site, ensuring rectification of non-complying work and making regular reports to the Superintendent. It will involve providing assurance records at the conclusion of the works to the Principal.

## **2.3.0 TESTS**

### **2.3.1 Notice**

Upon request of the Superintendent provide tests to subject works. If tests are to be carried out on parts of the works, do not conceal those parts and do not commence further work on those parts until the tests have been satisfactorily completed and compliance verified in writing.

## **2.4.0 SAMPLES**

### **2.4.1 Timing**

Delays: Coordinate submissions of related samples. Do not cause delays by making late submissions or submitting inadequate samples.

### **2.4.2 Quantity**

General: Submit a sample of each designated item and 2 copies of supporting documentation. Include ancillary items such as fasteners, flashings and seals.



#### **2.4.3 Identification**

Identify the project, contractor, subcontractor or supplier, manufacturer, applicable product, model number and options, as appropriate and include pertinent contract document references. Include service connection requirements and product certification. Identify non-compliances with project requirements, and characteristics which may be detrimental to successful performance of the completed work.

#### **2.4.4 Approval**

General: Do not commence work affected by samples until the samples have been approved. Submit further samples as necessary.

#### **2.4.5 Retention**

Keep approved samples in good condition on site, until practical completion.

#### **2.4.6 Incorporation**

Incorporate in the works samples which have been approved for incorporation. Do not incorporate other samples.

#### **2.4.7 Criteria**

Match approved samples throughout the works.

### **2.5.0 CONTRACTOR'S SUBMISSIONS**

#### **2.5.1 Stall drawings**

Provide all necessary Stall drawings for this project.

Stall drawings mean complete drawings showing details of fabrication, assembly, installation, fixing and waterproofing methods of specific items or components, and shall include necessary explanatory notes and specifications.

When preparing Stall drawings, do the following :

- A. Include provision in construction programme for the production and distribution of Stall drawings.
- B. Refer discrepancies discovered in the contract documents to the Architect for direction.
- C. Verify relevant dimensions. Dimension drawings so that the items or components fit accurately into the required positions.
- D. Ensure that Stall drawings conform with the requirements of the contract.
- E. Drawings shall be of consistent standard size and presentation.
- F. Submit 4 initial copies, one of each of the following : Specialist Subcontractor, Contractor, Architect, relevant Consultant. Subcontractor submits 4 and gets 1 back. Contractor submits 4 and gets 2 back. All parties retain one copy. If amendments are required, one copy will be marked and returned to the Contractor for amendments to the original Stall drawings. (This process may be repeated until the Architect considers that the Stall drawings are satisfactory.) Do not fax Stall drawings as they are often illegible on receipt.
- G. When the Stall drawings are satisfactory, one copy will be stamped by the Architect. Supply two additional copies of the satisfactory Stall drawings to the Architect. Provide also as required for the Contractor's site office, manufacturers or Sub-Contractors.
- H. Acceptance of Stall drawings shall imply only that the Contractor's interpretations of the relevant requirements of the contract are generally correct, but shall in no way relieve the Contractor of his obligations under the contract to construct and complete the Works correctly and accurately.
- I. Do not order, manufacture, assemble or supply any item or component needed according to requirements of Stall drawings until the Architect returns the applicable stamped drawings.

#### **2.5.2 Timing**

General: Submit documents in a timely manner, to suit the construction program. Advise if any of the documents are to be returned.



### **2.5.3 Identification**

Identify the project, contractor, subcontractor or supplier, manufacturer, applicable product, model number and options, as appropriate and include pertinent contract document references. Include service connection requirements and product certification. Identify non-compliances with project requirements, and characteristics which may be detrimental to successful performance of the completed work.

### **2.5.4 Endorsement**

General: Do not commence work affected by contractor's submissions until, if appropriate, the submissions have been endorsed as satisfactory.

Errors: If a document contains errors, submit a new or amended document as appropriate, indicating changes since the previous submission.

Delays: Coordinate submissions of related items. Do not cause delays by making late or inadequate submissions.

### **2.5.5 Design**

General: If part or all of an installation is to be designed by the contractor, submit documents showing the layout and details of the installation.

Variation documents: If it is proposed to change the installation from that shown on the contract documents, or if changes are required by statutory authorities, submit variation documents showing the proposed changes.

## **2.5.6 Authorities & Statutory Requirements**

### **2.5.6.1 Permits by Contractor**

The Contractor shall obtain all required permits and give all notices to the local authority and other relevant authorities, make all necessary applications, obtain all necessary licences, consents and all permits in connection with this Contract, and comply with all by-laws and building regulations of all Authorities having jurisdiction over the Works. The Contractor shall allow for paying all fees, security deposits, and other charges.

The Contractor is to allow for all permit costs and Council fees, including scaffolding, crossover deposit, road opening permits and the like required, except for all Planning and Building Permit Application Fees which will be paid by the Principal.

Should the Contractor be required to complete authority forms and other statutory applications to comply with any statutory authority, this shall be done at no cost to the Principal.

The Contractor shall comply with the requirements of all authorities and infrastructure service providers for electricity, gas, telecommunications, water supply and drainage. The Contractor is responsible for entering into arrangements with the various service providers.

### **2.5.6.2 Permits By Principal**

The Principal has engaged a Building Surveyor to provide requisite permits.

The Contractor shall provide evidence of the Contractor's Building Practitioners Board registration to the Building Surveyor within the nominated mobilisation period.

The Building Surveyor will carry out all inspections required under the Building Code during construction and issue Certificates of Occupancy in accordance with the staging requirements nominated in this Contract. The Contractor shall notify the Building Surveyor a minimum of 5 days prior to any inspection required under the Building Permit.

### **2.5.6.3 Additional Inspections**

Should additional inspections be required over and above the number allowed for by the Building Surveyor in order to allow efficacy for the staging, coordination and programming of the works, the Superintendent is to be notified immediately and an estimate of the number of required inspections given to assist in the cost and resource management of this activity.

Additional inspections required as a result of the failure of the Contractor to effectively coordinate the works, or

resulting from poor workmanship, shall be at the Contractor's cost.

## **2.6.0 MATERIALS AND COMPONENTS**

### **2.6.1 Proprietary items**

Implication: Identification of a proprietary item does not necessarily imply exclusive preference for the item so identified, but indicates the required properties of the item.

Alternatives: If alternatives are proposed, submit proposed alternatives and include samples, available technical information, reasons for proposed substitutions and cost. If necessary, provide an English translation. State if use of proposed alternatives will necessitate alteration to other parts of the works and advise consequent costs.

### **2.6.2 Manufacturers' or suppliers' recommendations**

General: Select, if no selection is given, and transport, deliver, store, handle, protect, finish, adjust, prepare for use, and use manufactured items in accordance with the current written recommendations and instructions of the manufacturer or supplier.

Instructions: Submit the recommendations and instructions, and advise of conflicts with other requirements.

Project modifications: Advise of activities that supplement, or are contrary to, manufacturer's or suppliers' written recommendations and instructions.

Product certification: If products must comply with product certification schemes, use them in accordance with the certification requirements.

### **2.6.3 Sealed containers**

If materials or products are supplied by the manufacturer in closed or sealed containers or packages, bring the materials or products to point of use in the original containers or packages.

### **2.6.4 Consistency**

For the whole quantity of each material or product use the same manufacturer or source and provide consistent type, size, quality and appearance.

### **2.6.5 Fire Extinguishers**

Provide 20A 20B (E) fire extinguisher(s) located from 2m to 20m from electrical switchboards.

### **2.6.6 Asbestos**

No asbestos products or asbestos based materials shall be used in any part or parts of this building or its services and the Contractor shall ensure that Sub-Contractors, Nominated Sub-Contractors, suppliers and others are advised of this restriction.

No compensation will be paid if asbestos is brought on to the site and subsequently discovered and if discovered such removal and consequential making good or costs will be totally at the expense of the Contractor.

### **2.6.7 Patent Rights**

Ensure that no patent is infringed and that unless otherwise specified, amounts payable and conditions imposed in respect of the manufacture, use or exercise of patented invention are paid and complied with and shall indemnify the Proprietor against claims, damages, costs, charges and expenses in any way whatsoever arising out of the manufacture, use or exercise by the Contractor of patented invention.

## **2.7.0 OCCUPATIONAL HEALTH & SAFETY**

The Contractor shall be authorised to manage or control the workplace to the extent necessary to discharge the duties



imposed on a principal contractor under the Occupational Health and Safety Regulations 2007 Part 5.1 – Construction.

#### **2.7.1 Statutory Requirements and compliance Codes**

The Contractor shall:

- a) comply with the Occupational Health and Safety Act (2004) and any other relevant statutory requirements dealing with occupational health and safety; and
- b) comply with all relevant Compliance Codes approved under the Occupational Health and Safety Act. Codes of Practice continue to provide a source of practical guidance and contribute to industry state of knowledge, assisting compliance with health and safety laws. Reference shall be made to Codes of Practice where applicable.

#### **2.7.2 Occupational Health and Safety Policy**

The Contractor shall:

- a) Develop and maintain a specific and current Safe Work Method Statement and Health and Safety Co-ordination Plan showing the Contractor's commitment to occupational health and safety and allocating responsibilities for the management and facilitation of health and safety on the Site;
- b) Regularly monitor and update its occupational health and safety policy;
- c) Take all appropriate steps to ensure that there is a high level of awareness of the Contractor's Occupational Health and Safety Site Management Plan among all of the Contractor's employees and subcontractors at the Site; and
- d) Conduct and minute weekly Site Safety Inspections and provide to the Superintendent on request.

#### **2.7.3 Safe Work Method Statement and Health and Safety Co-ordination Plan**

The Contractor shall ensure that the content and application of the Safe Work Method Statement and the Health and Safety Co-ordination Plan also complies with Occupational Health and Safety Regulations 2007 Part 5.1 Construction and specifically s5.1.17, and s5.1.5 and s5.1.9.

In addition to any other requirements under the Contract relating to Occupational Health and Safety, the Contractor shall comply with, and ensure that its Subcontractors comply with, the Contractor's Safe Work Method Statement and Health and Safety Co-ordination Plan and protocol for the Works.

#### **2.7.4 Site Safety Induction Program**

The Contractor shall:

- a) Ensure that all of the Contractor's employees and Subcontractors and any secondary Subcontractors undertake the Contractor's safety induction and training program (incorporating the Principal's Induction Manual Requirements) prior to carrying out work at the Site and cover cost of this in their Contract Sum;
- b) Provide documentary evidence to the Superintendent on a regular basis, or as requested by the Superintendent, of the induction and training of the Contractor's employees and any Subcontractors and their employees;
- c) Arrange to meet with the Principal's Infection Control and Occupational Health and Safety representatives to ensure all Safety and Infection Control requirements are clearly understood and agreed prior to commencement of the Works;
- d) Take all appropriate steps to ensure that there is a high level of awareness of the site safety induction and training program among all of the Contractor's employees and any Subcontractor at the Site;
- e) Ensure that each new employee and Subcontractor commencing at the Site during the Works undertakes the site safety induction and training program;
- f) Ensure that any visitor to the Site undertakes the site safety induction program; and
- g) Provide all safety equipment as required for the Superintendent and its visitors to enter site i.e. boots, vests, helmets etc.

#### **2.7.5 Occupational Health and Safety Reports**



The Contractor shall provide an occupational health and safety report at each Site meeting, which shall report on:

- a) accidents or injuries at site;
- b) the implementation and maintenance of an incident notification process for internal and external notification;
- c) a breach of any occupational health and safety legislation or Codes of Practice (including copies of any incident reports required to be sent to the Victorian Workcover Authority under the Occupational Health and Safety (Incident Notification) Regulations 1997) or notices or warnings received whilst performing the Works;
- d) action taken by the Contractor to comply with any notices or warnings; and
- e) any action by the Contractor to prevent or remedy hazardous conditions or any other conditions which cause, or may cause, the Site to be an unsafe or unhealthy workplace.

#### **2.7.6 Health and Safety Advisor**

In connection with the work under the Contract, the Contractor shall:

- a) Appoint a health and safety employee representative to assist in the identification, consideration and response to occupation health and safety concerns; and
- b) Participate in an occupational health and safety committee that meets monthly, and liaise with the Principal's site OH&S representative to ensure that any site-specific issues are addressed.

#### **2.7.7 Health and Safety Procedures**

In connection with the work under this contract, the Contractor shall:

- a) Implement and maintain work procedures and systems to ensure safe systems of work on the Site, including provision of an occupational health and safety manual and safe work method statements;
- b) Undertake an auditing process of the workplace on a regular basis to ensure that safe systems of work are maintained on the Site;
- c) Implement and maintain a process of identifying actual or potential hazardous or unsafe or unhealthy conditions at the Site, assessing associated risks and identifying and implementing appropriate risk control and prevention measures;
- d) Implement and maintain an appropriate incident investigation process and designate responsibility for investigation to persons with appropriate skills;
- e) Implement and maintain a system to manage occupational health and safety risks with respect to employees and Subcontractors and any other persons who may attend the Site or be affected by works at the site; and
- f) Implement a Site specific emergency response procedure for responding to occupational health and safety incidents at the Site.

**END OF SECTION**

**SECTION 05100 \_ STRUCTURAL STEEL & METAL WORK**

**101 Scope**

Supply, fabricate and install a complete structural steel system including but not limited to :

- A. Steelwork shown on the Architect/Engineer's Drawings specified herein, or as described in his instructions issued during the currency of the work. It includes surface treatment, storage, delivery to the site, steel to steel connections and their fastenings, steel to concrete and their fastenings, miscellaneous attachments and anchor bolts.
- B. Erection of the steelwork shown on the Architect/ Engineer's Drawings and includes off-loading, erection, field welding, making steel to steel connections, connection to anchor bolts, permanent grouting and repairs to surface treatment.
- C. Supply, engineer and install all required general and architectural metalwork items contained within this Section and required to complete the works.
- D. Support framing as required for equipment.
- E. Roof safety mesh.

Design, fabricate, supply and install exterior and interior handrail, and rails (which form a balustrade ) including but not limited to :

- F. Metal pipe handrails and railings
- G. Solid metal brackets and railings
- H. Corner guard to walls

**102 Related Work**

Co-ordinate and co-operate with the following trades:

1 Quality Assurance

Do work in accordance with the Drawings and Specifications which form part of this contract, and further details and/or instructions issued by the Architect/Engineer during the currency of the works.

Submit evidence of experience appropriate to the class of work required. Install under the direct supervision of a capable Foreman, experienced in the class of work under construction.

**23 References**

Conform to the latest edition, including amendments, of the following Australian Standards (except where varied by this Specification or the Contract Drawings) :

AS/NZS 1554 Structural Steel Welding

AS/NZS 1554.1: 2000 Welding of steel structures

*There are 5 other parts to this standard, 1983 - 2002*

AS 1627 Metal finishing - Preparation and pretreatment of surfaces

*There are 7 parts to this standard, 1989 - 2002*

AS 2832 Cathodic protection of metals

*There are 5 parts to this standard, 1991 - 2002*

AS/NZS 3678 1996 Structural steel - Hot rolled plates, floorplates and slabs

AS/NZS 3679 1996 Structural steel

*There are 2 parts to this standard*

AS/NZS 3750 Paints for steel structures

*There are 18 parts to this standard, 1994 - 2002*

AS 4100 1998 Steel structures

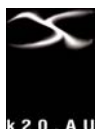
*There is 1 supplement with this standard, 1999*

AS/NZS 4600 1996 Cold-formed steel structures

AS/NZS 4673 2001 Design of Cold-formed stainless steel structures

AS/NZS 4680 1999 Hot dipped galvanised (zinc) coatings on fabricated ferrous articles

HB48 - 1999 Steel structures design handbook



**104 Delivery, Handling and Storage**

Handle and store materials by methods and appliances that will not over-stress or deform the members. Separate materials on site from surface of ground.

Members bent or buckled from handling or storing will be liable to rejection.

Supply bolts, nuts and washers in grit-free containers and stored in water-tight premises. Reject burred, damaged, corroded or otherwise unserviceable bolts.

**105 Warranty**

Provide a written warranty stating the preparation of surfaces, materials and material application under this contract will show no deterioration and remain in good condition for a period of seven years from date of Practical Completion.

**PART II MATERIALS200**

**201 Materials**

Where manufacturer makes more than one grade of any material specified, use the highest grade of each type, whether or not the material is mentioned by trade name in these specifications.

a) General Steel Items :

Supply materials required to complete the works under this Section in accordance with the Contract Documents and within the tolerances specified. Materials which do not comply will be rejected.

Steel Supply :

Unless otherwise shown on the Drawings, comply with AS/NZS 3678 and AS/NZS 3679. Do not use other types and grades of steel without written approval.

b) Roof Safety Mesh (CT01)

Provide Permanent Safety Mesh (SM) securely fix to roof structure for fall protection. Provide certification for roof safety in compliance with all safety access requirements.

Type: Safety roof mesh

Supplier: Australian Mesh– <http://www.australianmesh.com.au/> or equivalent approved in writing by Superintendent.

Location: Generally to extent of ceiling/roof area.

c) Corner Guard (CG)

Provide Acrovyn corner guard securely fix to stud wall for corner protection.

Type: Corner guard SSM-20 length 1000mm colour 100 Eggsbell (confirm colour with Superintendent prior to order)

Supplier: Acrovyn–C/S Group (T) 1800 800 908 or equivalent approved in writing by Superintendent.

Location: To all exposed corners of walls/columns

d) Steel Column (C2, C4, UB & RHS)

Refer structural drawing for details.

Type: Cold galvanizing finish with continuous welding to all steel members. Allow to touch up all welded sections with Galvanite strictly to Galvanizers Association of Australia Advisory Note Gen / 7 / 1 recommendations. Builder to provide/install all associated plate & bolts for proposed full height anchor columns. Refer structure for column type & details.

Location: Refer drawings



**202 Stall Drawings**

Provide Stall drawings for steelwork.

1. Drawings and details provided are indicative as to general and minimum requirements, and do not show all conditions. The Builder shall develop all details not shown and they shall conform with indicative details shown.
2. Fabricator shall take and confirm all dimensions on site before commencement of fabrication.

**203 Fabrication**

Fabricate steel work finish in accordance with AS 4100.

Do not exceed the end clearances shown on the Drawings. Where these are not shown, ascertain the clearances used in the design of the connections.

Handrails and balustrade metal work - Before delivery to site, pre assemble where possible all items to ensure proper fit and dimension of each item. Disassemble and pack carefully for shipping to the site. On delivery and unloading, inspect for damage and arrange immediate replacement if necessary.

**204 Connections**

A. General

Supply end cleats, brackets and other connections, not specifically detailed on the Drawings, to suit the location and forces shown thereon with gauge and edge distances in accordance with AS 4100.

B. Bolting General

Supply bolts in bearing of such lengths that no threaded portion crosses the interface of the parts joined. Place at least one washer under the bolt head or nut, whichever is to be rotated. Provide taper washers where the part under the bolt head or nut is not perpendicular to the centre-line of the bolt.

C. Welding

Do manual welding in accordance with AS/NZS 1554

Do semi-automatic welding in accordance with AS/NZS 1554.

D. Miscellaneous Attachments

Allow for the drillings, cleat and other fitments indicated on the Contract Drawings or shown on other relevant Drawings and required by other trades.

Be entirely responsible for supply of necessary information to the Steel Fabricator.

**205 Surface Treatment of Steel**

Clean steelwork free from loose rust, loose mill scale, dirt, oil and grease or by sand-blasting - Class 2.5. Apply a coat of inorganic zinc silicate, 100 microns thick. Refer AS 1627

**206 Inspection Before Delivery**

Material and work is subject to inspection before painting and delivery. Provide the necessary access and facilities.

Where steel has been inspected at the Stall before being delivered to the site, such inspection does not relieve the Contractor of his responsibility to carry out the work in accordance with the Drawings and this Specification.

**PART III EXECUTION300**

**301 Examination**

Inspect site conditions both before fabrication and delivery of steel.

Ensure that on delivery, materials can be directly installed.

Report discrepancies immediately they are found and instruction obtained before continuing with the affected portion



of the work.

Start of work means total acceptance of conditions.

**302 Preparation**

- A. General : Prepared to a standard not less than that described in AS 1627.
- B. Clean base metal surfaces of all mill scale, rust, grease, oil, dirt or other foreign matter then properly wash with spirit or other approved cleaning agents. After cleaning, etch, pickle or prepare as recommended by manufacturer of the finish applied.
- C. Field measurements : Do not delay job progress. Allow for adjustments and fitting of the work in the field where taking of measurements might cause delay.
- D. Co-ordination with work of others : Furnish to each relevant trade foreman anchorages and setting Drawings, diagrams, templates and instructions for installation of items having integral anchors which are to be embedded in concrete or masonry construction. Co-ordinate delivery of such items to the project site.

**303 Field Quality Control**

Where considered necessary by the Superintendent, arrange for the manufacturer of products to instruct installers regarding correct installation.

**304 Application of Metal Finishes**

Execute all work in this section in strict compliance with the manufacturer's recommendations and with the provisions of the Australian Standards which are incorporated by reference as part of this specification and apply to the work in this section to same extent as if written herein. In the event of conflict between manufacturer's recommendations and the provisions of the Australian Standards, manufacturer's recommendations govern.

**305 Erection**

Comply with the requirements of AS 4100.

Adopt an erection procedure such that members can be placed and fixed in position without distortion.

Make safe, during erection, against wind and erection stresses and loading conditions, including those due to erection equipment.

Allow for the cost of temporary erection bracing required and of the Engineer's requirements in connection with such bracing.

**306 Grouting of Baseplates**

Set plates to precise level at centre of footing for future baseplate placement.

Set plate in high strength mortar.

After placement of column base plates, grout fill the void completely.

Trim the grout on completion.

**307 Inspection on Site**

Advise Engineer and/or Architect when erected steel is ready for inspection.

**308 Adjustments**

Following erection, adjust the installation as required by Engineer.

Touch up abraded or missing paint areas. Refer next clause.

**309 Protection**

Protect finished metal surfaces as necessary during handling, transport and erection to prevent mechanical imperfections such as scratches, scrapes, dents, spots, stains and streaks.

Do not use adhesive protective coating. Protect by other means with the approval of the Architect.



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SECTION 05100 STRUCTURAL STEEL & METAL WORK

**310 Cleaning**

Clean the installed steelwork and metalwork. Touch up steelwork with zinc rich primer paint of matching colour. Ensure that the touch up paint is compatible with the factory applied material.

**311 Completion**

Allow to paint finish to all steel work.

Complete contracted work in accordance with contract documents and written variation orders issued by the Superintendent.

**END OF SECTION**



**SECTION 06000 \_ CARPENTRY**

**PART I GENERAL**

101

**Scope**

Provide all material and labour, equipment and services and perform all operations necessary to complete the carpentry as indicated on the Drawings and as specified in this Section. Supply and install a complete system of carpentry items including, but not limited to: floor, wall and roof framing, wall lining, soffit linings, fascias, barges, window and door frame installation, fencing installation, preparation for wall tiling and associated fixing necessary for complete installation of joinery under joinery section.

All timber supplied and used on the project shall be certified plantation timber stock throughout. The Contractor is required to supply at commencement of project timber source suppliers to the Superintendent for approval.  
**Important:** refer also section 08330: Roller Shutter Doors and specification section 008520: Glazing.

Supply and install all finishes and framing with necessary accessories and related equipment required for the work including but not limited to:-

- Studwork wall framing
- Roof & Ceiling Framing
- Subfloor framing
- Levelling floor packer & lining to suit proposed floor finish

102

**Reference Standards**

Comply with applicable portions of the current edition of the following Australian Standards for materials and workmanship:

**MATERIALS**

- AS/NZS 1491 - 1996 Finger-jointed structural timber.
  - AS 1781 - 1975 Sawn boards from Australian grown conifers (Softwoods)
  - AS/NZS 1859.3 - 1996 Decorative overlaid wood panels.
  - AS 2270 - 1979 Plywood and blockboard for interior use.
  - AS 2271 - 1979 Plywood and blockboard for exterior use.
  - AS 2458 - 1982 Hardboard.
  - AS 2796 - 1985 Timber - Seasoned hardwood - Milled products.
  - AS/NZS 1859 Reconstituted wood-based panels.
  - AS/NZS 4266 Reconstituted wood-based panels - Methods of test. STRESS GRADING
  - AS 2082 - 1979 Visually stress-graded hardwood for structural purposes.
  - AS 2858 - 1986 Timber - Softwood - Visually stress-graded for structural purposes.
- DESIGN AND INSTALLATION**
- AS 1606 - 1974 Code of practice for water-repellent treatment of timber, joinery and other timber products.
  - AS 1684 - 1992 National Timber Framing Code.
  - AS 1720 Timber Structures.
  - AS 1860 - 1991 Installation of particleboard flooring.
  - AS/NZS 4200 - 1994 Pliable building membranes and underlays.
- AS/NZS 3661 Slip Resistance of Pedestrian Surfaces - Part 1 and 2.
  - AS 3553 - 1988 Adhesives for floor and wall application.

**PART II MATERIALS**

201

**Schedule: Timber and Related Items**

Refer structural drawing

1. **Wall Framing (type T1)**  

<u>Material Group</u>	<u>Size</u>	<u>Manufacture/Type</u>	<u>Strength Australian Standard</u>
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Items documented by Structural Engineer take precedence over the following wall framing items. Posts & structural Walls refer to Engineers drawings.

Plates	90 x 45	F5 RAD	AS 1491 or 2858
Studs	90 x 45	F5 RAD @ 450 crs	AS 1491 or 2858
Studs – above 3000	90 x 45	F17 KDHW @ 450crs	AS 1491 or 2858
Nogging - 3 rows	90 x 35	F5 RAD	AS 1491 or 2858
Bracing	50 x 25	F5 RAD	AS 1491
Posts & structural Walls	Refer to Engineers drawings.		
Wall lining (inside) refer section 09250			
Wall lining (outside)	refer section 09250		
Finish (inside & outside)	Dulux low voc White, paint preparation and finish quality strictly to manufacturer's recommendation.		

## 2. Ceiling Linings (CT02)

Supply and install CSR p/board to ceiling lining tape & seal all joints square set finish unless documented otherwise:

Type: CSR Gyprock 10mm CD Square Edge

Location: All internal ceiling, unless indicated otherwise on the drawings.

## 3. Skirting

Provide new timber skirting to all refurbished areas on drawings.

Type: KDHW 19mm x 100mm

Finish: Paint finish to match wall

Location: All internal stall space areas

## 4. Floor Packer Framing

Provide new treated pine floor framing/packer as required to provide level finished floor to all refurbished areas on drawings. Provide framing at minimum 450mm centres.

Type: Treated pine to wet zones – seek approval from Superintendent for type of floor framing to use prior to commencing work.

Finish: Allow finish level to suit proposed floor lining and floor finish

Location: As indicated on drawings

## 5. Floor lining (PAB) & Floor Finish – Stall Internally

Supply and install 12mm marine grade plywood grade S flooring lining on floor packer sub structure to provide levelled surface on existing concrete slab to suit new floor finish. Actual floor finish type on top of selected plywood to match existing Stall 159S. Ensure flushed floor finish between existing and new stall. Confirm with Superintendent & obtain signoff from tenant for type of floor finish.

Allow to trim around/cover all floor penetrations that include installation of items such as column plates, roller door threshold plate etc.

Location: To all areas nominated on drawings

## PART III EXECUTION

### 301 Installation General

Comply with: AS 1684 SAA Timber Framing Code, and other relevant standards.

Perform all operations including grooving, rebating, framing, housing, beading, mitring, scribing, nailing, screwing and gluing as necessary to carry out the works. Use timber in single lengths whenever possible. If joints are necessary, make them over supports unless otherwise shown or specified.



Provide all necessary templates, linings, blocks, stops, ironwork and hardware, adhesives, screws, bolts, plugs and fixings generally.

**302 Completion**

Complete all contracted work in accordance with contract documents and written variation orders issued by the Superintendent.

**END OF SECTION**



## SECTION 08520 \_ ROLLER SHUTTER DOORS

### 101 Scope

Supply, engineer and install roller shutter door(s) including but not limited to:

- a) Drum support
- b) Door guides & mullion
- c) Manual control devices
- d) Locking devices

### 102 Related Work

Co-ordinate and co-operate with the tradesmen preparing walls and frames to accept windows, including casting in of anchors.

### 103 Quality Assurance

- A. Manufacturer qualifications : Not less than ten (10) years continuous experience in the manufacture of the product types specified.
- B. Installer qualifications : Installer is to have not less than five (5) years continuous experience in the erection of specified material.

### 104 References

Comply with applicable portions of the following Australian Standards :

AS 1231            2000    Aluminium and aluminium alloys – Anodic oxidation coatings.

AS 3715           2002    Metal finishing - Thermoset powder coatings for architectural applications  
Comply with relevant Authority's requirement for fire-rated installation

AS 1905.2        1989    Fire resistant roller shutters (SAA Fire Door Code)  
Comply with requirements of Statutory and Local Authorities

## PART II MATERIALS

### 201 Acceptable Manufacturers

Acceptable Manufacturers of Roller Shutter Doors:

Mirage Doors (03) 9587 1999

Airport Doors (03) 9971 1444

### 202 Materials

#### a) **Roller Shutter Door**

Roller door installation to manufacturer's recommendation and comply with Australian Standards. Supply & install Mirage Clearline Roller Shutter complete package to all roller doors including but not limited the following:- Roller, Drum, Drum support, Guides, Brackets, Manual pull hook, Cover(s/steel), Waist tie locking devices(Lockwood cylinder lock to side guide rails, turn snip from inside), bottom rail, roller guide(RG), center mullion(CM) and door bottom rubber seal.

Finish: aluminium section anodised matt natural, fitted with a rear Colourbond® steel coverplate

Curtain : full width extruded slats, 1.5mm thick x 98mm high clear polycarbonate, and rigid aluminium joining slats.



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SECTION 08520 ROLLER SHUTTER DOORS

Both ends of every aluminium slat are filled with a solid nylon clip that secures slats laterally and takes up wear.

Locking: Mirage waist tie tumbler lock(two way locking) centrally mounted with cylinder operated sliding latch and solid steel plated shoots to side guides, mounting height at approx 700mm to 800mm from FFL. Where required modify door threshold plate to suit proposed bottom rail.

Miscellaneous Items:

Fasteners : Provide required bolts, screws, inserts, fasteners, templates and other accessories required for a complete installation.

Co-ordinate with other trades as to the proper fastening systems suitable for the substrates to which the item is to be secured. Refer to Architect if in doubt.

Fasten galvanised items with galvanised fasteners.

b) **Roller Guide & Center Mullion fixing**

Provide secure flushed fixing point on concrete for proposed removable center mullion holding. Proposed extruded aluminium section roller guides to be bolt fixed to columns via galvanised steel angle brackets for secure fixing.

**203 Detail Design Provisions**

- A. General: The Architect's Drawings are to be considered essentially schematic except for profiles of exposed surfaces and panel arrangement where indicated. If, in the opinion of the Builder a change of profile is required in order to meet the specification, arrange through the Architect for a review of the condition. Design the assembly, reinforcing and anchorage to suit each specified condition in an acceptable manner complying with the requirements specified herein.
- B. Tolerances: Design frames to accommodate building tolerances, and when completed, within the following tolerances :
1. Deviation from plumb, level or dimensioned angle within 3mm per 3.5m of length of member, or 6mm in total run in line.
  2. Deviation from theoretical position on plan or elevation, including deviation from plumb, level or dimensioned angle not to exceed 9mm total at location.
  3. Change in deviation not to exceed 3mm for 3.5m run in direction.

**PART III EXECUTION**

**301 Examination**

Inspect site conditions before start of work on site, before delivery of materials. Ensure conditions are satisfactory for installation.

Perform rectification required before delivery of materials.

Start of work means total acceptance of conditions.

**302 Preparation**

Prepare surfaces affected by the installation in accordance with material manufacturer's instructions.

**303 Installation of Roller Shutter Doors**

A. Anchorage : Except for anchorages furnished herein but placed by other trades, set and secure necessary anchorages, including concrete and masonry inserts, bolts, wood screws and other connectors as needed. Perform cutting, drilling and fitting as needed, locating anchorages and holes to ensure proper positioning of completed work.

B. Fit : During installation and assembly, form tight joints with exposed connections accurately fitted, and reveals uniform. Finish work accurately, plumb, level, square and true in reference to adjacent construction.

C. Finish : Do not cut or abrade Stall finishes which cannot be completely restored in the field.

The use of gas-cutting torch in the field for correcting fabrication errors will not be permitted. Fabrications may be cut shorter with power hacksaws on site.

Isolate dissimilar metals likely to be subject to moisture with inert materials, not visible on completion of installation.

D. Comply with manufacturers' installation instructions throughout.



**304 Inspection and Reinstatement**

- A. Check fabrications as they are unloaded at the project site for evidence of physical damage.  
Treat damaged fabrications as follows :
1. Misshaped items : return to Stall for repair or replacement.
  2. Damaged surface treatment : repair as recommended by application of the finish.
- B. Verify anchors, bolts and other required anchorage items for proper size and accurate location prior to erection.

**305 Cleaning**

- A. Remove labels, excess compounds, stains, spots and other foreign matter from roller curtain, frames, hardware and other finished surfaces immediately upon installation of glazing for each light.
- B. Debris : Remove rubbish and debris resulting from glazing operations, each day.

**306 Completion**

Complete contracted work in accordance with contract documents and manufacturer's warranty to Superintendent.

**END OF SECTION**



## SECTION 09250 \_ CEMENT SHEET / SIGNAGE INFILL PANEL

### PART I GENERAL

#### 101 Scope

Supply and install a complete installation of plasterboard / cement sheet including but not limited to:-

- Plasterboard / Cement sheet wall and ceiling lining.
- Signage infill panel (S1).

Allow to provide paint finish to all walls and ceilings with undercoat and 2no. top coats in Dulux Low VOC Paint installation in strict accordance with manufacturers recommendations.

#### 102 Related Work

Close co-ordination is required with installers of structural columns/lintel, stud walls, suspended ceilings, electrical and other services.

#### 103 References

Complying with applicable portions of the following Australian Standards; current edition:-

- AS 2588 - 1983 Gypsum Plasterboard
- AS 2589 - 1983 Application and Finishing of Gypsum Plasterboard in Framed Dwelling Construction.
- AS 2592 - 1983 Gypsum Plaster for Building Purposes.
- AS 2753 - 1985 Adhesives, mastics, for bonding gypsum plaster linings to wood and metal framing members.

#### 104 Warrantee

Provide to the Proprietor a warranty covering faulty materials, installation, warping of materials and other faults which may occur to plasterboard/linings etc within two (2) years of Practical Completion.

### PART II MATERIALS

#### 201 Acceptable Manufacturers:

- Boral Australian Gypsum;
- C.S.R. Building Materials;
  - Rondo Building Services Pty. Ltd.
  - CRS Gyprock – James Hardie

#### 202 Materials

Wall lining to proposed wall:

1. Cement sheet to Stud Wall (**type T1**), All sides

CSR RendaLine 8mm thick fibre reinforced cement sheet with recessed edges tape & seal for flush jointing fixed to stud wall. Paint finish with Dulux low voc White. Paint preparation and finish quality strictly to manufacturer's recommendation.

Location: All walls unless noted otherwise on drawings

2. Plasterboard Ceiling Lining (CT02)

Shall be 10mm thick CSR Gyprock CD Square Edge plasterboard recessed edges tape & seal for flush jointing. Ensure flushed joint between existing & new ceiling. Provide slot cut out with aluminium edging dimension to suit proposed roller curtain..

Location: Identified area on Roof Parapet Plan

Finish: Paint finish Dulux low voc White, paint preparation and finish quality strictly to manufacturer's recommendation.

3. Cornice

Ceiling to Wall junctions shall be square set tape & seal in selected paint finish. Refer item 6 below.



Location: All ceiling/wall junctions unless noted otherwise on drawings

4. **Casing Beads**  
Where required provide following:-  
External corners Rondo Plasterlock Corner Bead P32.  
Internal corners Rondo PSI7
5. **Square Set Finish**  
Provide Rondo P11, P12 stopping beads to ends of cement sheet/plasterboard at top edge of cornices.  
Generally allow to square set finish to all plasterboard / cement sheet throughout.

General: Provide for all necessary Stopping beads, end stops, furring channels, angles, battens, tapping to achieve square set finish and level, straight walls/bulkhead. Where fixing to an existing substrate, provide for all necessary packing and battens to achieve straight level wall finish. Use Rondo proprietary items.

### **PART III EXECUTION**

#### **301 Examination**

Do not install materials until space is enclosed and weatherproof, and until wet-work in space is completed and nominally dry.

#### **302 Preparation**

- (a) Provide all additional stud, nogging, trimmed openings, boxed studs, fixing grounds, etc., required by other trades.
- (b) Penetrations through plasterboard for services shall be provided under this Section. Co-operate in installation of frames, duct openings, etc.

#### **303 Installation - General**

- (a) Comply with manufacturer's written installation instructions and recognised industry standards.
- (b) Take care and protect surrounding work, including other finishes, equipment and components, during installation. Provide protective covering where necessary.

#### **304 Finishing Details**

All boards to be jointed using three coat system.  
Apply treatment at board joints (both directions), flanges of trim accessories, penetration, fasteners, heads, surface defects and elsewhere as required to prepare work for decoration. Pre-fill open joints and rounded or bevelled edges, using type of compound recommended by manufacturer.

#### **305 Cleaning**

- (a) Remove all splatterings and droppings resulting from work. Remove all surplus materials and rubbish resulting from the work area daily.
- (b) Leave floors broom clean at completion.

#### **306 Completion**

Completion all contracted work in accordance with contract documents and written variation orders issued by the Superintendent.

**END OF SECTION**



## SECTION 15330 \_ SPRINKLER SYSTEMS

### 101 Scope

A. Installation of a new sprinkler system to proposed Stall. Design, supply and install automatic sprinkler system including but not limited to distribution pipes, isolating valves, sprinkler heads, connection/upgrade to fire indicator panel, connection to fire brigade, flow switches and other essential equipment. Allow in tender for all required permits & applications for sprinkler works.

B. Alterations to existing market sprinkler system to suit. Design, supply, removal and repositioning of pipe branches, valves, sprinkler heads and each required item for execution of the work. Any proposed disruption to existing fire service shall have approvals in writing from the Superintendent, Fire Brigade & Market Management.

### 102 Related Work

A. Co-ordinate and co-operate with the following trades:

Water supply

Fire hydrants and hose reels

Concrete floors

Suspended ceilings

Plasterboard

Electrical installation

B. Provide a unit cost in tender to isolate and reinstate the FIP and appropriate circuits. Cost to include advice to authorities.

### 103 Quality Assurance

Perform the work of this section using skilled tradespeople whose training complies with the requirements of the controlling statutory authority.

### 104 Reference Standards

Comply with applicable portions of the following Australian Standards :

AS 1074 1989 Steel tubes and tubulars for ordinary service

AS 1851 Maintenance of fire protection equipment

*There are 16 parts and 2 supplements to this standard, 1984 - 1997*

AS 2118 Automatic fire sprinkler systems

*There are 9 parts to this standard, 1995 - 1999*

AS 4118 Fire sprinkler systems

*There are 89 parts to this standard, 1994 - 1999*

Comply also with :

Building Code of Australia; Statutory Authority requirements; Fire Brigade requirements; Independent fire protection services organization; Building Surveyor.

### 105 Delivery, Handling and Storage

Deliver materials when required for installation. Minimise on-site storage. Handle with care. Damage to existing materials and surfaces of the building shall be made good to the satisfaction of the Architect without cost to the Proprietor.

### 106 Fees

Pay required fees to the relevant Statutory Authorities.

### 107 Drawings

Drawings provided for sprinkler installation are diagrammatic and do not show all structural and architectural details. Before ordering materials, measure and record accurate dimensions on site.

Prepare Stall drawings and submit for approval prior to fabrication. Comply with Document 00800, Clause 27.

Provide two sets of "as-built" drawings of the completed work on the CAD disk provided by the Architect or Engineer



for this purpose.

**108 Site Access**

Use access and entrances nominated for the purpose by the site superintendent. Do not use other access.

**109 Warranty**

Provide the Proprietor with warranties covering :

- A. Materials : in the form supplied by manufacturers of specified components.
- B. Installation: complete installation for one year from the date of Practical Completion.

**PART II MATERIALS200**

**201 Acceptable Manufacturers**

Acceptable manufacturers of each component type are required to submit written evidence of Statutory Authority approval of their equipment.

**202 Materials**

Minimum standard for materials/quality incorporated to match existing market system and to authority requirements.

Piping : black steel to AS 1074 with one coat of zinc rich paint.

Pipe supports (galvanised steel, with paint finish)

Sprinkler heads (type to match existing market system)

Sleeves for pipes through walls : 1.6mm galv. steel or UPVC for pipes through concrete floors : galv. steel extending 100 mm above top of floor

Allow 25mm space between pipe and sleeve.

Fill with high density mineral wool.

Allow necessary revisions to the Fire indicator panel for works.

**PART III EXECUTION300**

**301 Examination**

Visit the site before delivery of materials, and compare conditions with those shown on drawings.

Start of work means total acceptance of conditions. Refer Clause 108 above.

**302 Connections to Supply**

Connect to existing water supply OR SPRINKLER SYSTEM IN THE CASE OF ALTERATIONS

Co-ordinate with cold water supply Plumber.

**303 Fire Precautions**

A. In making alterations to an existing sprinkler system, comply strictly with the requirements of AS 2118.1 and AS 1851.

B. Before making alterations to the sprinkler system, notify the proprietor and the Fire Brigade before turning off supply valve. Restore to operation on completion of work each day or if work ceases at the site for any reason.

**304 Fabrication and Jointing**

Stall fabricate components where possible and provide threaded pipe junctions. Where welding is unavoidable, comply with current, relevant Australian Standard to achieve safe welding practice. Use fire blanket to prevent damage to materials. Only certificated welders may perform welding.

**305 Installation**

A. Install all components to the Superintendent's and the Authority's approval, to applicable Australian Standards and to the manufacturer's instructions.

Co-ordinate with other trades, particularly where pipes pass through other elements of the building and plan relevant work to produce the whole installation in proper sequence.



SECTION 15330 SPRINKLER SYSTEMS

Ensure that interfaces are of appropriate size and type and are properly sealed.

Seal penetrations as needed to achieve a watertight installation. Refer to the Warranty Clause 109.

Provide and fix expansion joints at positions indicated on drawing and as required by the authority.

Water Hammer : Take precautions to prevent water hammer and rectify it where it occurs.

Sprinkler Pipes and Heads :

Piping shall run at least 200mm above the ceiling suspension to enable installation of light fittings.

Notwithstanding the design shown on the drawings, ensure new and relocated sprinkler heads are clear of full height door swings and are not within 2 metres of existing sprinkler heads and comply with Section 5 of AS 2118.

Allow to supply and install additional sprinkler heads complete with escutcheon plate, arm pieces and hangers including draw down and re-instating of system as shown.

Upon completion of the works, allow for the system to be certified by an independent approved certifier confirming conformity to the relevant Australian Standard.

Allow to provide necessary test certificates, hydraulic calculations etc for approval of alteration works to the sprinkler system.

Reticulation :

Reticulate as indicated on the drawings throughout the building.

Provide isolating valves with stuffing boxes of appropriate diameter where indicated on drawings at branches to fixtures or groups of fixtures.

Co-ordinate the work of lining up services with other trades.

Where joints are required between piping and screwed fittings, provide suitable teflon tape.

### **306 Testing and Commissioning**

Pressure test pipe installation in accordance with rule 7.2 of AS 2118, witnessed by the consulting engineer. Obtain certificate of satisfactory completion before ceiling is installed or enclosed in a duct.

Arrange for a second test and inspection after all work is finished so that the engineer can issue a completion certificate.

Should a part of the installation fail to pass a test by the services certifying organisation, correct the fault and arrange for further inspection until satisfactory.

### **307 Protection**

Protect all work of this Section from damage until Practical Completion is achieved.

### **308 Cleaning**

On completion, remove all debris and clean all visible work to the Architect's satisfaction.

### **309 Completion**

Complete all contracted work in accordance with contract documents and written variation orders issued by the Superintendent.

**END OF SECTION**



## SECTION 16350 \_ ELECTRICAL INSTALLATIONS

### 101 Scope

This Specification sets out the requirements, methods, materials and standards of workmanship in connection with the work defined below and as part of this project and as indicated on the accompanying Drawings and/or as herein specified.

- Relocation of existing Switchboard & associated rewiring
- New Switchboard required
- Kilowatt Hour Meter
- Suspended and Recessed Ceiling Light

The works include the supply and installation of all new materials, relocation of existing switchboard, fittings, labor, incidentals, etc., necessary for the completion of the electrical installation as hereinafter specified, scheduled and shown on the Drawings.

It shall be deemed that this Contract provides for all the materials, whether specified or not, necessary to complete the intent of this Contract. Supply all equipment not otherwise specified to provide a fully functioning system.

Examine the site prior to submitting a tender and ascertain the full extent of the works required.

The project entails the refurbishment of an existing child care center to provide additional rooms and re planning of some existing internal areas.

Supply & installation works and relocation works shall be carried out as herein detailed, and as shown on the accompanying drawings.

Specific supply and installation requirements of the electrical services works are as follows :

- Site inspection and familiarization with all aspects of the existing and proposed works prior to submission of tender.
- Protection of existing underground conduits and cabling
- Alterations and additions to submains, main switchboard and distribution board as required
- Strip out of the areas being altered of lighting, power, telephones, data, cabling and fittings. Existing equipment to be relocated shall be noted from the drawings and retained for re-use.
- Co-ordination with Builder and other Trades.
- New sub circuit cabling.
- New light fittings, switching
- Supply and installation of power outlets and direct wired connections including connection to specified equipment.
- New single point, self contained exit/emergency lighting fittings, including VBR Form 14 to BCA compliance of the completed installation. All exit and emergency lights shall be tested to AS2293 prior to practical completion and a report prepared as to compliance of all items.
- Modification to the existing fire detection and warning system to the requirements of the BCA and AS1670 for the Class Of Building.
- Provision of 'As Built Drawings' in CAD format.
- 12 month's maintenance and warranty from the date of Practical Completion of the works.

Also refer to City of Port Philip Cabling Standards. The work of the Section includes but is not limited to the design, supply and installation of electrical transmission and reticulation materials from existing market mains supply to nominated stall /site, and connection for :

- Power reticulation
- Lighting reticulation
- GPOs
- Switches



SECTION 16350 ELECTRICAL INSTALLATIONS

- New Distribution Board for Stall with safety circuit breakers for Stall
- Kilowatt Hour Meter to monitor individual Stall electrical usage
- Allow for the relocation of existing market lighting in the stall area to suit new stall layout.

All electrical wiring for the stall to be wired back to safety circuit breakers in new sub-distribution board located within the stall in position to Superintendent's approval. Refer to drawings for location of new distribution board and confirm with Superintendent prior to wiring. Provide conduits for running of wires in wall and ceiling to distribution board.

**102 Related Work**

Co-ordinate and co-operate with the following trades:

Wall Construction  
Ceiling Construction  
Carpentry

**103 Quality Assurance**

- A. Licensed electrical technicians only may perform work, experienced in the requirements of the project. Licences are those issued by the State Authority having direct control or interest in the work.
- B. Perform the entire installation in accordance with the requirements of the Statutory Authority having jurisdiction.

**104 References**

Comply with applicable portions of the following Australian Standards :

AS 1680 Interior lighting

*There are 10 parts to this standard, 1990 - 2001*

AS/NZS 2053 2001 Conduits and fittings for electrical installations

*There are 8 parts to this standard*

AS/NZS 2293 Emergency evacuation lighting for buildings

*This standard is in 3 parts, 1993 - 1998*

AS/NZS 3000 2000 Electrical Installations (AS/NZS wiring rules)

*This standard is in constant revision*

AS 3786 1993 Smoke alarms

**105 Submissions**

On request of the Superintendent, submit for approval any item related to the installation, including : data sheets on materials; wiring diagrams - plans; samples of products; licence certificates and obtain written approval of each item so requested.

**106 Delivery, Handling and Storage**

Deliver, unload and store in a secure area, in accordance with manufacturer's instructions where applicable, to prevent damage, deterioration and loss.

**107 Warranty**

Provide a warranty covering aspects of required work of this Trade Section, for a period of not less than ten years from the date of Practical Completion.

**108 Fees and Notices**

Pay fees, and submit notices to Supply Authority

Arrange for inspections by Authority Inspector and obtain final certificate.

**106 New/Existing SWITCHBOARD**

**a.)General**

Modify the existing switchboards and provide additional circuits to suit the new works.



### **b.)Switchboard Labelling**

Provide an updated typewritten circuit schedule and mount behind perspex. Indicate the description of load, and circuit breaker rating. Each circuit breaker shall be identified with its circuit designation by an adjacent approved label.

#### **107 PHASING**

Phase rotations shall be strictly maintained throughout the project and shall comply with the requirements of the Supply Authority. Phase distinguishing colours shall be RED, WHITE and BLUE.

#### **108 CABLE ENTRIES**

All cable entries into switchboards and control panels shall be glanded so as to provide mechanical protection to the cable and an IP63 protection rating if located indoors.

**Cables passing through fire or smoke barriers shall be designed and installed so as to maintain the protection requirements of the barrier. In general penetrations through fire barriers shall be sealed with approved fire resistant pillows or fire sealant mastic. Penetrations through smoke barriers shall be sealed with patching plaster or silicon sealant.**

#### **109 CABLING**

Conductors shall consist of high conductivity plain annealed copper. All power cables shall use stranded conductors and be insulated and sheathed.

P.V.C. insulation shall comply with the minimum requirements of Type V.75 as defined in A.S. C 347.

Final sub-circuits shall be a minimum of 2.5mm<sup>2</sup> for lighting and 4.0mm<sup>2</sup> for power.

Colour coding of cable insulation shall be employed throughout the installation as follows :

Red, white and blue phases	- Red, White and Blue respectively
Neutral	- Black
Control or switch wires	- White
Earthing conductor	- Green/yellow

All cabling shall be concealed.

Subcircuit, Public address, general cables shall be installed as follows:

In areas with no ceiling lining - in conduit or sheet metal duct painted to match wall surfaces.

In areas with false ceiling - on catenary wire.

In areas with plasterboard ceiling - on catenary wire.

Cables in cavity walls and stud framed partitions shall be installed in conduits but installed on a drop-in, rise out basis if looped. Horizontal runs within wall cavities are not permitted.

Cables chased into brick or masonry walls or concrete floor slabs shall be in conduit.

Cables crossing the tenancy boundary walls shall be fire sealed.

Submain cables shall be installed as follows:

In areas with no ceiling lining - on heavy duty galvanized cable tray spaced to avoid derating.

In areas with false ceiling - on heavy duty galvanized cable tray spaced to avoid derating.

In areas with plasterboard ceiling - on heavy duty galvanized cable tray spaced to avoid derating.

On brick or masonry walls - on heavy duty galvanized cable tray spaced to avoid derating. Tray to be fitted with removable galvanized lid. Cables are not permitted to be run in wall cavity.

Oval conduits are not permitted.

#### **110 EARTHING**

An earth wire, minimum size 2.5mm<sup>2</sup> copper T.P.I. or T.P.S. in accordance with regulations, shall be run for all power outlets, all light fittings, and where required by regulations and shall be connected to an effective earth.

All metal supporting in the vicinity of switchboards shall be effectively earthed. No equipment earthed in accordance with this Specification shall cease to be earthed should the earth connection be removed from the neutral busbar, or



otherwise interrupted.

#### 111 CATENARY SUPPORT SYSTEMS

In suspended ceiling areas where metallic support systems are utilized, cables shall be supported at intervals not exceeding 300mm using catenary wires, approved hangers fixed to the structure or the ceiling suspension members. Cables shall be neatly grouped together and at no point shall be cabling rest on the top side of the false ceiling, lighting fittings or other heat production equipment. Catenary wires shall be tensioned with turnbuckles and clamped with U-bolts. Reference shall be made to the design requirements of AS3008 with respect to the number of cables of catenaries and the derating requirements.

Cables shall be attached to catenary wires with cable ties at intervals not exceeding 300mm. Insulating tape may be used to progressively attach cables during construction but is not considered adequate for permanent fixing.

#### 112 PAINTING AND COLOUR MATCHING

Power outlets and switch plates shall be selected from standard colour ranges to complement the adjacent wall finishes. Unless otherwise noted outlets and switch plates shall be white.

#### 113 LIGHT FITTINGS AND LIGHTING INSTALLATION

Supply and install new light fittings, cabling and switches to the areas as shown on the drawings.

All new light fittings shall be delivered to site complete with 1.5m flex and 3pin plug, lamp holders, lamp gear, etc., ready for installation.

Light fittings in general shall be quality spec. light fittings.

Wiring to light fittings shall be via a flex and plug system and be as specified in under cabling of this section.

Light fittings shall be circuited as per AS3000 with 50% spare capacity being allowed for in each circuit. In general existing subcircuits fed from local switchboards shall be re-used for the areas being altered.

An earthing conductor shall be run to ALL fluorescent and incandescent fittings. In cases where no earth terminal is provided on incandescent fittings the earthing conductor shall be taped, but shall not be cut back.

Light fittings shall be securely fixed.

Toggle bolts shall be used where fittings are fixed directly to ceiling lining.

Fluorescent and discharge light fittings shall be fitted with power factor correction to not less than 0.85pf lagging when running.

Fluorescent light fittings shall be supplied with full low loss ballasts.

#### 114 GENERAL PURPOSE OUTLETS & CONNECTIONS

Coordinate with and allow for all electrical requirements of Other Trades.

Supply and install, as necessary, items including but not limited to the following:

- As noted on the drawings.

Supply and install all new single or double general purpose outlets as shown on the drawings.

Circuit from new circuits on the existing switchboard as required.

Extend cabling and reconnect existing relocated equipment to existing power circuits.

Wiring to outlets shall be as specified under cabling of this section.

Outlets shall be circuited as per AS3000 with 50% spare capacity being allowed for in each circuit and/or a limit of no more than 8No. DGPO outlets per 20amp circuit.

All existing and new power outlets shall be labeled with the circuit number.

#### 115 ACCESSORIES

All accessories shall be new. Uniformity of manufacture and appearance shall be preserved.

Outlets and switches shall be Clipsal Series 2000. Colour shall be white unless otherwise noted on the drawings.

#### 116 POSITION OF OUTLETS

The position of outlets, fixtures and fittings shown on the Drawings is indicative only. Confirm all locations prior to rough-in with the Project Representative and following co-ordination with the Builder and other Trades.

Verify the exact locations and connection points of equipment supplied and installed by other Trades before commencing installation of any particular section of work.



### 117 LABELLING, CIRCUIT DIAGRAMS AND SCHEDULES

Labeling shall be carried out to requirements of the Supply Authority and as described below.

All labels shall be black lettering on clear self adhesive tape.

Data outlets shall be labeled with Red on white and numbered sequentially from that existing on site.

Switchboard circuits shall be uniquely identified with sequential numbering following on from that existing. Confirm circuit designations and retype circuit schedules and affix in each switchboard.

All circuits, isolators and outlets shall be numbered and printed identification charts to be completed and placed in switchboards.

All exit and emergency lights shall be numbered such that the number is readily seen when viewed from ground level. This numbering shall be included on 'As Built' drawings, which shall then be included in the Exit/ emerg lighting log book and in the central monitoring system database.

Telephone outlets shall be numbered with the room number and correspondingly be entered in the telephone frame records books.

### 118 BALANCING OF CIRCUITS

Balance the loads throughout the installation to the satisfaction of the Supply Authority.

### 119 POWER FACTOR CORRECTION

The installation shall be installed so as to have a power factor of not less than 0.85lagging.

## PART II MATERIALS200

### 201 General

Supply only products which bear the required indication of approval of the Statutory Authority having jurisdiction. At Superintendent's request supply list of proposed materials, showing name of manufacturer where not named below.

### 202 Materials

Contractor is to allow for all necessary Conduits, Cable Trays, Cable Ducts, Identification Materials, Power Factor Correction, light fittings as nominated, Junction boxes, smoke alarms, earthing, temporary supply, reticulation cable as required for a complete installation of all electrical items noted in the documentation. All items supplied items are to be of a type conforming to Australian Standards.

The contractor shall be responsible for organizing the connection of power to the stall. All wiring to be run within plastic conduit with appropriate diameter & grade securely attaché to existing wall/new wall/ceiling beam. Provide junction box at ceiling for future expansion.

Supply & install following component:

- A. Power Outlets/Switch : Clipsal Slimline White
- B. Kilowatt Hour Meter: Clipsal 4KWHR
- C. Recessed light (type L2):  
Laser Lighting, Magic T5 EL6245 OP 2x24w, Ken Drennan (03) 9561-0622
- D. New Switchboard:  
Supply & install new switchboard to proposed stall. Switchboard and smoke seal type to comply with Australian Standards. Allow to provide all necessary wiring, bracket and conduit to suit proposed works. Actual location and requirement of new switchboard to be confirmed with Superintendent and stall tenant. Allow for wiring back all proposed electrical items to existing stall switchboard if new switchboard is not required.
- E. Concealed bulkhead light(type L3):  
Generic 2x21w T5 direct illumination no prismatic, Ken Drennan (03) 9561-0622
- F. Relocated Switchboard:  
Relocate existing switchboard to proposed location indentified on the drawing. Allow to rewire



SECTION 16350 ELECTRICAL INSTALLATIONS

and provide necessary wiring, bracket and conduit to suit proposed works. Location for existing switchboard relocation to be confirmed with Superintendent.

**203 Fabrication**

Components manufactured off-site are to be compatible with the requirements of the project and to Superintendent's approval.

Refer to Superintendent for approval of finishes of components where item will be exposed to view after installation.

**204 Source Quality Control**

Where Supply Authority or Architect requires, submit data relating to manufactured components in the form of :

- A. Test Reports.
- B. Certificates issued following inspection of products.
- C. Verification of Performance Statement.

**PART III EXECUTION300**

**301 Examination**

Request rectification of existing work or preparation of additional or new work by Builder where necessary to facilitate electrical installations.

Start of work means total acceptance of conditions.

**302 Preparation**

Provide necessary safety or security controls where required to ensure safe practices and installations.

Slab penetrations for floor-mounted G.P.O.'s, telephone outlets etc.

Chasing and making good for conduit access for skirting

Chasing and wiring duct, G.P.O.'s switches etc.

Supply and installation for access opening where required.

Provision of electrical riser.

Provision of signwriting to Main Switchroom & Distribution board.

Forming , trimming, patching and making good of openings for luminaries to sizes required by the Electrician.

Provision of concrete & Making good existing roadway etc.

**303 Installation**

Comply with Regulatory requirements relating to installation methods and systems.

Ensure that installations are within the Regulatory maximum loads and tolerances.

- A. Chases

Form chases, in co-operation with Builder, where necessary in structural items within limits set by Architect and Builder.

- B. Cable

Secure cable, using materials specified above, at centres recommended by Regulations and/or manufacturer.

- C. Conceal wiring and cable equipment. Conduit cable where necessary or required in approved material.

**304 Field Quality Control**

- A. Where requested by Supply Authority supply test data obtainable from component manufacturer.

- B. Arrange for inspections by component manufacturer's representative to ensure correct application, use and installation.

**305 Adjust and Clean**

Adjust installations of components to ensure proper fit and alignment.

Remedy items of inefficient operation or of doubtful performance.



Clean visible items to original condition. Remove debris from installation in concealed spaces.

**306 Protection**

Protect installed items from damage from any source until Practical Completion.

**307 Schedules**

- [ Refer to drawing for nominated light fittings and items of equipment.
- [ Refer City of Port Phillip's Cabling Standards.

**308 Completion**

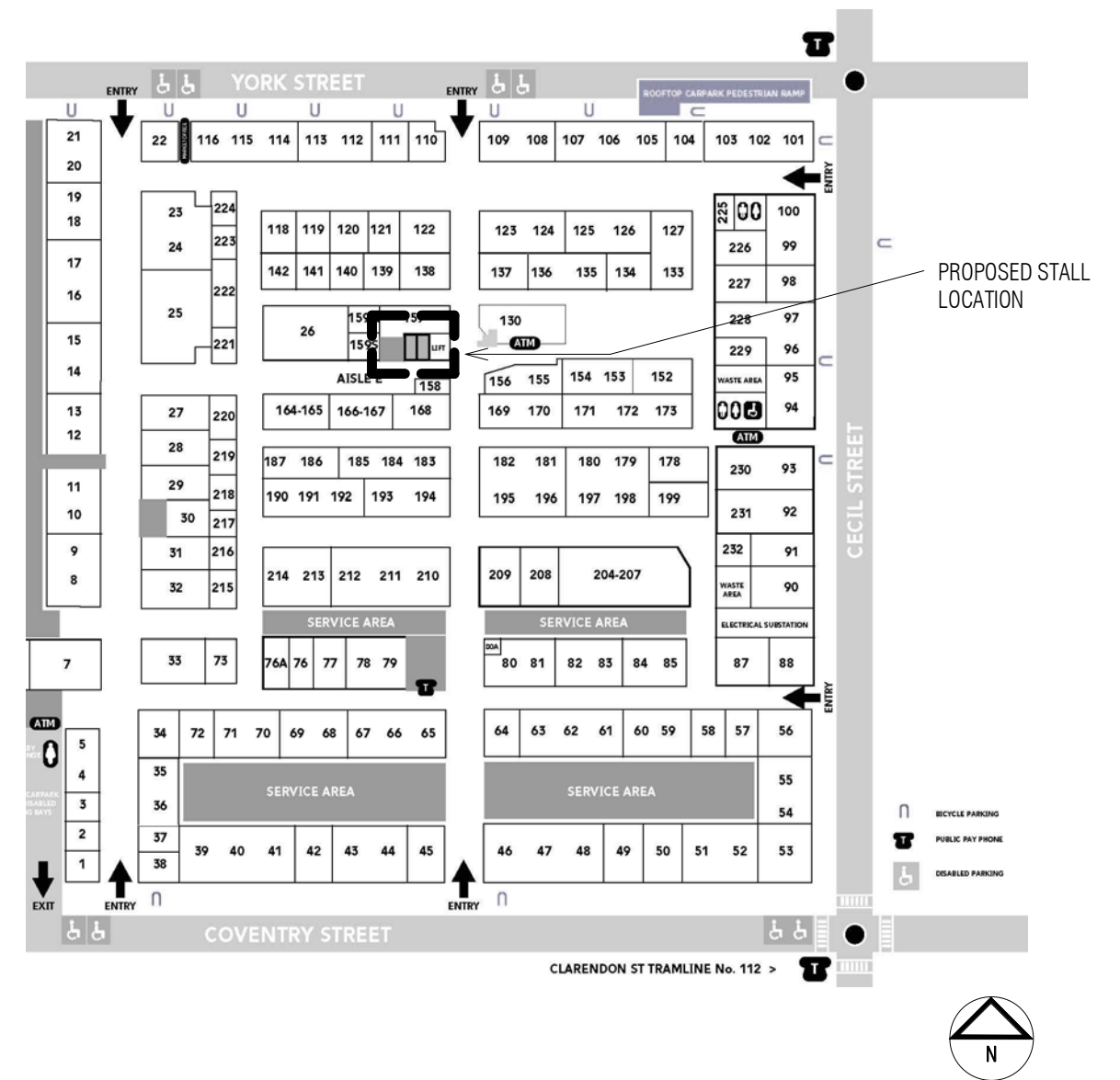
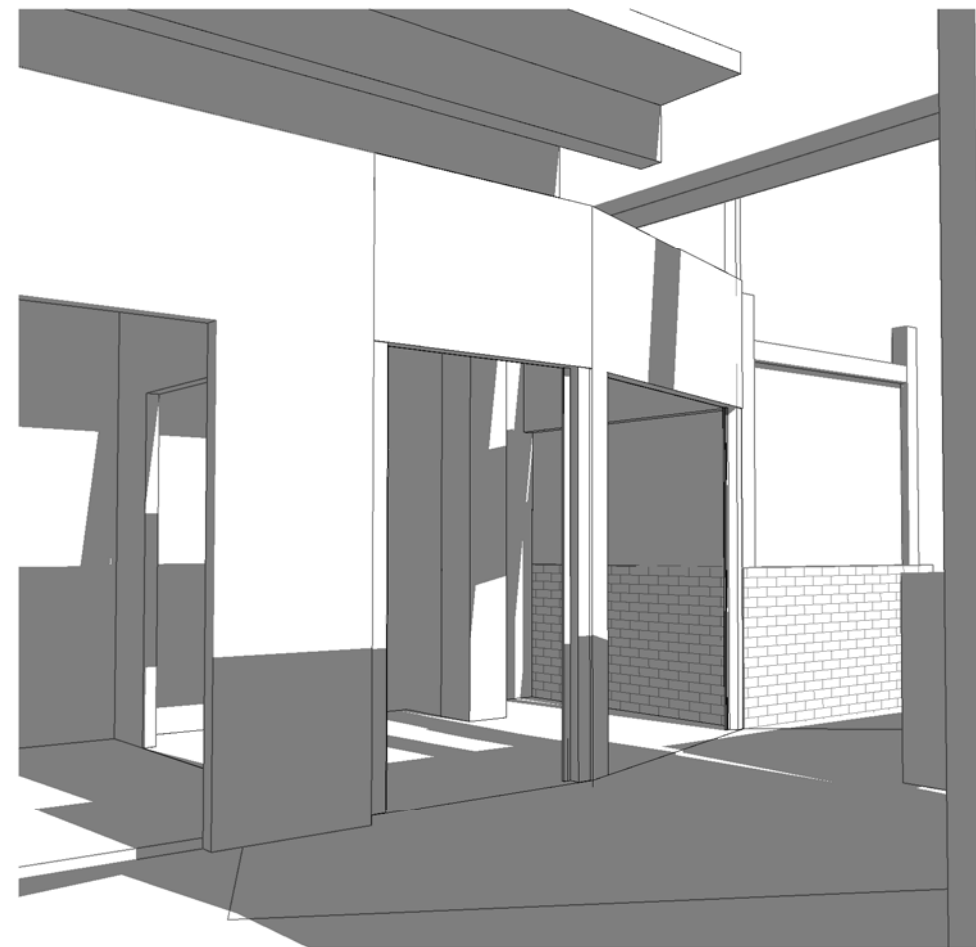
Complete contracted work in accordance with contract documents and written variation orders issued by the Superintendent.

**END OF SECTION**



ARCHITECTURAL DOCUMENTATION

- S159\_A0.00 Cover Page
- S159\_A0.01 Existing Conditions\_Stall 159 Demolition Floor Plan
- S159\_A0.02 Proposed Conditions\_Stall 159 Floor Plan
- S159\_A0.03 Proposed Conditions\_Stall 159 Roof Plan
- S159\_A1.01 Proposed Conditions\_Elevations\_Stall 159
- S159\_A1.02 Proposed Conditions\_Stall 159 Detail



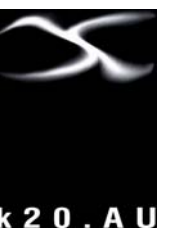
# City of Port Phillip

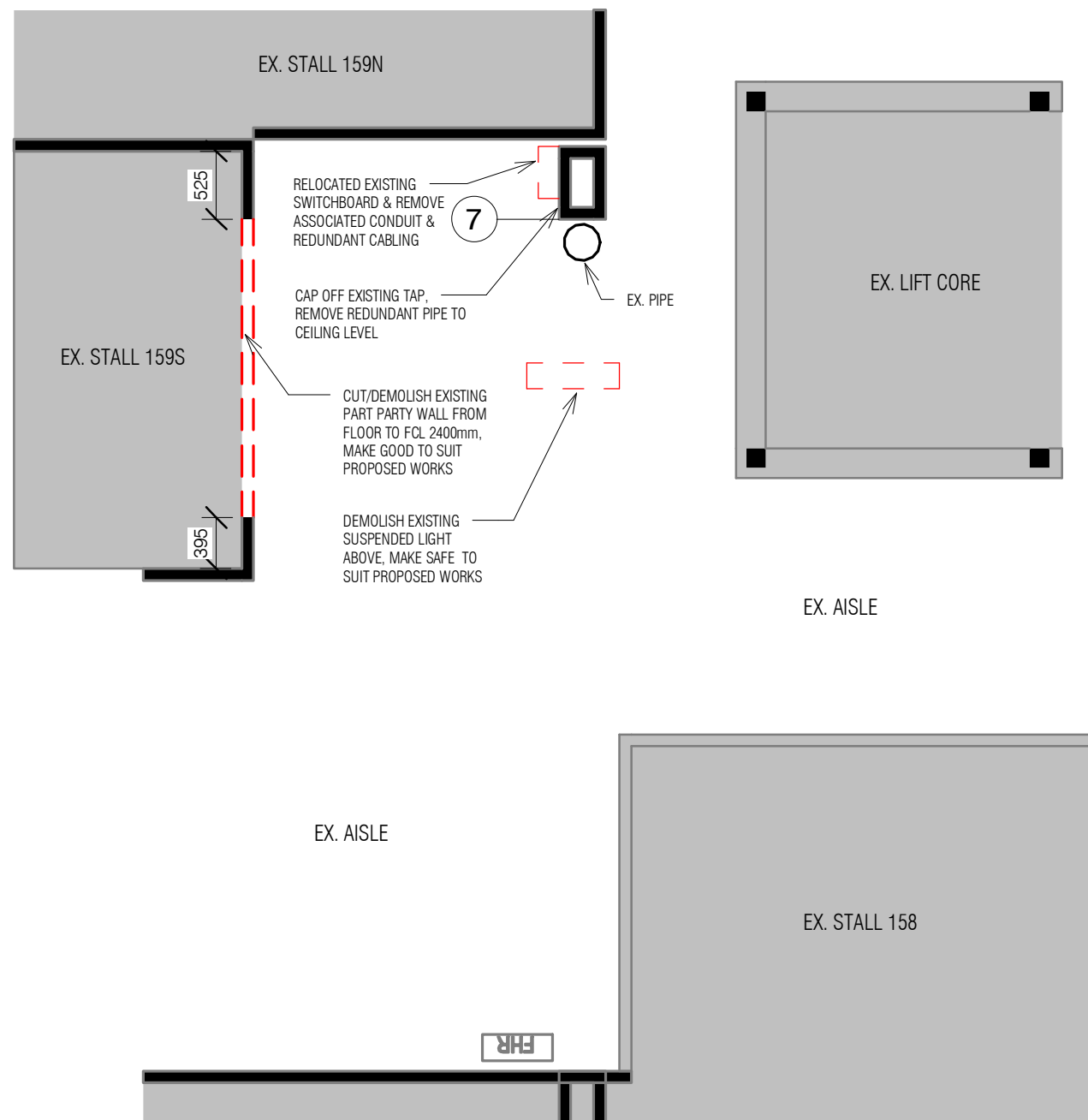
Stall 159 Remodelling\_South Melbourne Market

k20 Architecture

CONSTRUCTION DOCUMENTATION

OUR REF JOB No: 182





NOTE:  
SERVICES ON PLAN SHOWN ARE DIAGRAMMATICALLY ONLY.  
NOT ALL SERVICES ARE IDENTIFIED ON PLAN. CONTRACTOR  
TO IDENTIFY ALL SERVICES PRIOR TO COMMENCEMENT OF  
WORK. NO NOT SCALE DRAWING.

NOTES		
REVISIONS		
SP1	CLIENT'S REVIEW	16.12.08
P2	CLIENT'S REVIEW	14.01.09
P3	DESIGN REVIEW	16.01.09
T1	TENDER ISSUE	21.01.09

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PROJECT | South Melbourne Market  
Shop Remodelling

CLIENT | City of Port Phillip

DRAWING | Existing Conditions Stall  
159 Demolition Floor  
Plan

DRAWING No. S159 A0.01 REVISION No. J1

DATE	12/12/08	
SCALE	1:50	
DRAWN	YC	
JOB No.	182	
CAD No.		

TENDER ISSUE

**1** GF\_Demolition Stall 159  
1:50

**IMPORTANT NOTE**

- 1) BUILDER TO IDENTIFY & PROTECT ALL EXPOSED/IN SLAB/IN WALL SERVICES ON SITE PRIOR TO CONSTRUCTION TO ENSURE NO DAMAGE.
- 2) BUILDER TO CONFIRM LOAD BEARING WALL ON SITE AND REPORT TO ARCHITECT FOR DIRECTION PRIOR TO DEMOLITION WORKS.
- 3) CONFIRM ALL DIMENSION ON SITE PRIOR TO DEMOLITION WORKS ON SITE.

LEGEND

C.O.S.	CONFIRM ON SITE
GR?	GRAB RAIL TYPE AS SPECIFIED
CT1	CEILING/ROOFING TYPE AS SPECIFIED REFER SPECIFICATION
SECTION	06000 CARPENTRY
T?	WALL TYPE, TYPE AS SPECIFIED REFER SPECIFICATION SECTION 06000 CARPENTRY & 09250 WALL LINING
C?	COLUMN REFER STRUCTURE FOR DETAILS
CP	COLUMN PLATE REFER STRUCTURE FOR DETAILS, ALLOW TO CONCEAL COLUMN PLATES WITH LEVELING FLOOR BOARD IF POSSIBLE, ALTERNATIVELY CUT LEVELLING FLOOR PAB AROUND THE PLATES & PROVIDE NON-SLIP SAFETY COVER PLATES
TP	NON-SLIP DOOR TRANSOM PLATE TYPE AS SPECIFIED
ENG	REFER STRUCTURE FOR CONNECTION DETAILS
CG	CORNER GUARD TYPE AS SPECIFIED REFER SECTION 05520
PAB	SELECTED FLOOR LINING REFER SPECIFICATION
350	DOUBLE GPO MOUNTED 350 HIGH ON WALL FFL
2	EX. SPRINKLER HEAD ADJUST TO SUIT
SM	HARD WIRED SMOKE DETECTOR
CM	CENTER DOOR MULLION
RG	ROLLER DOOR GUIDE
	SUSPENDED CEILING LIGHT AT 2400mm ABOVE FFL, TYPE AS SPECIFIED
L2	RECESSED CEILING LIGHT TYPE AS SPECIFIED
L3	CONCEALED BULKHEAD LIGHT TYPE AS SPECIFIED
DS	DOUBLE STUD REFER STRUCTURE
CG	CORNER GUARD AS SPECIFIED

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NOTES

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P1	CLIENT'S REVIEW	16.12.08
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P3	DESIGN REVIEW	16.01.09
T1	TENDER ISSUE	21.01.09

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PROJECT | **South Melbourne Market Shop Remodelling**

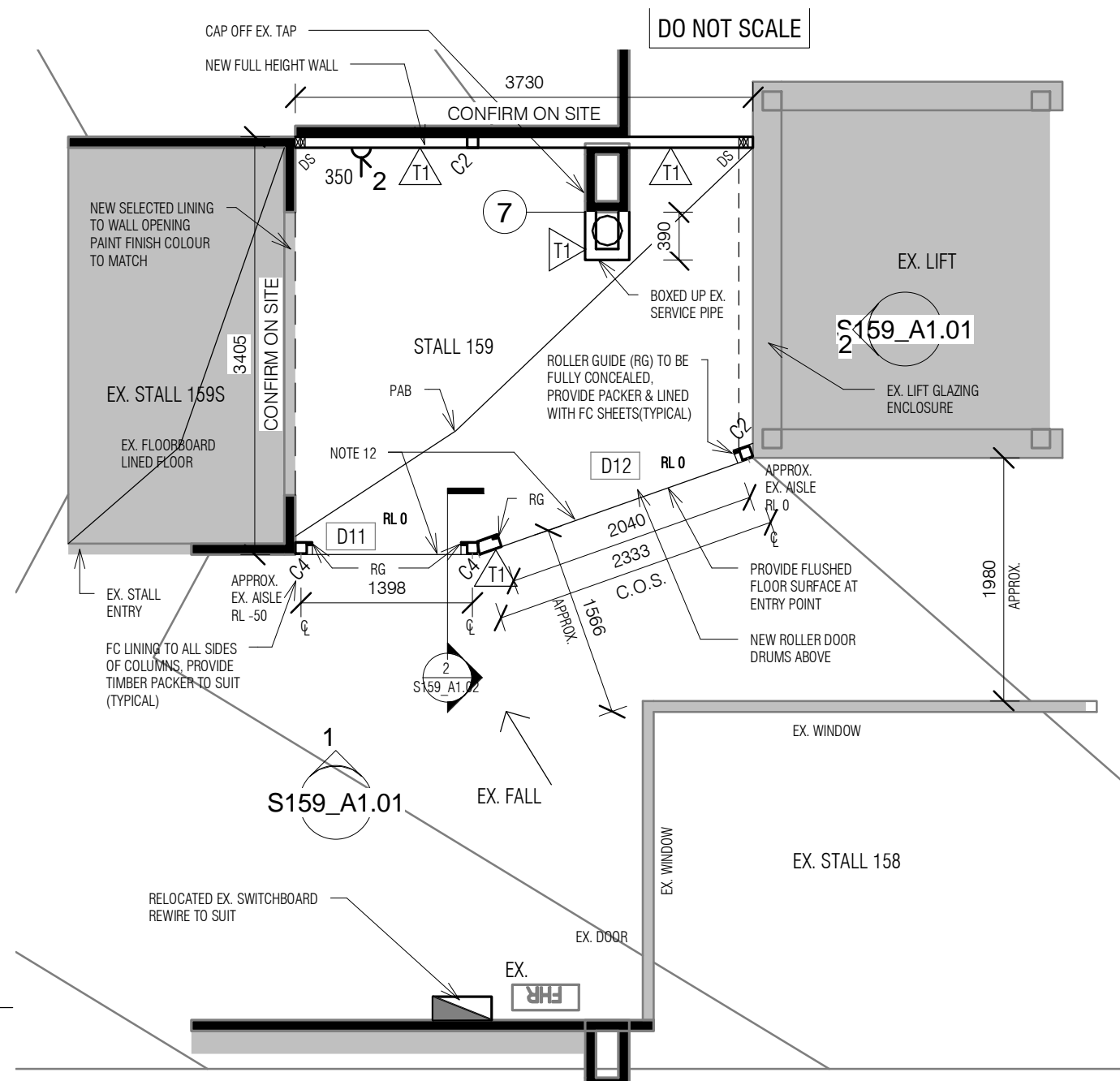
CLIENT | **City of Port Phillip**

DRAWING | **Proposed Conditions\_ Stall 159 Floor Plan**

DRAWING No. **S159\_A0.02** REVISION No. **T1**

DATE	12/12/08	
SCALE	1:50	
DRAWN	YC	
JOB No.	182	
CAD No.		

**TENDER ISSUE**



**1** G Ground Floor Plan Stall 159  
1:50

NOTE

- REFER STRUCTURE FOR MEMBER SIZE & SUPPORT DETAILS.
- ALL GLAZING TO COMPLY WITH AS1288. PROVIDE CERTIFICATION.
- CONFIRM ALL DIMENSION ON SITE PRIOR TO INSTALLATION. CONFIRM ON SITE ALL EXISTING CEILING SERVICES CLEAR HEIGHT AGAINST PROPOSED WORKS.
- BUILDER TO IDENTIFY & PROTECT ALL EXPOSED/IN SLAB/IN WALL SERVICES ON SITE PRIOR TO CONSTRUCTION TO ENSURE NO DAMAGE.
- PROVIDE ROOF SAFETY MESH TYPE (SM) SECURELY FIXED TO ROOF STRUCTURE TO AUSTRALIAN STANDARDS.
- SPRINKLER LAYOUT TO COMPLY WITH AS2118.1-2006 FOR ADEQUATE COVERAGE. ALLOW TO TAP IN & MODIFY EXISTING MARKET SPRINKLER SYSTEM ABOVE TO SUIT PROPOSED WORK.
- GRAB RAIL TO COMPLY WITH AS1428.1-2001.
- ALL ELECTRICAL WIRING TO BE PLACED WITH IN CONDUIT & JUNCTION BOX WITHIN WALL CAVITY & CEILING SPACES. PROVIDE SECURE FIXING TO EXISTING/PROPOSED STUDS.
- SPRINKLER HEADS (NEW & RELOCATED) TO COMPLY WITH AS 2118 PART 1
- SWITCHBOARD TO BE NON COMBUSTIBLE ONE WITH SMOKE SEAL
- PROVIDE 12A20BE DRY CHEMICAL FIRE EXTINGUISHER ADJACENT TO NEW/RELOCATED ELECTRICAL SWITCHBOARD
- WHERE THERE IS A LEVEL DIFFERENCE BETWEEN AISLE & STALL PROVIDE PAINT WARNING STRIP (100mm WIDE) COLOUR YELLOW TO STALL ENTRY

SITE HOARDING

PROVIDE 3M HEIGHT SOLID TEMPORARY HOARDING WITH GATED ACCESS TO FULLY ENCLOSE PROPOSED STALL FOOTPRINT DURING ENTIRE REMODELLING PROCESS. WARNING SIGN & LIGHT ALSO TO BE VISUABLE TO MARKET VISITORS.

DO NOT SCALE

**k20 architecture**  
 construction documentation  
 LEGEND

- C.O.S. CONFIRM ON SITE
- GR? GRAB RAIL TYPE AS SPECIFIED
- CT1 CEILING/ROOFING TYPE AS SPECIFIED
- SPECIFIED REFER SPECIFICATION
- SECTION 06000 CARPENTRY
- T? WALL TYPE, TYPE AS SPECIFIED  
 REFER SPECIFICATION SECTION 06000 CARPENTRY & 09250 WALL LINING
- C? COLUMN REFER STRUCTURE FOR DETAILS
- CP COLUMN PLATE REFER STRUCTURE FOR DETAILS. ALLOW TO CONCEAL COLUMN PLATES WITH LEVELLING FLOOR BOARD IF POSSIBLE, ALTERNATIVELY CUT LEVELLING FLOOR PAB AROUND THE PLATES & PROVIDE NON-SLIP SAFETY COVER PLATES
- TP NON-SLIP DOOR TRANSOM PLATE TYPE AS SPECIFIED
- ENG REFER STRUCTURE FOR CONNECTION DETAILS
- CG CORNER GUARD TYPE AS SPECIFIED REFER SECTION 05520
- PAB SELECTED FLOOR LINING REFER SPECIFICATION
- Y<sup>350</sup>/<sub>2</sub> DOUBLE GPO MOUNTED 350 HIGH ON WALL FFL
- ⊗ EX. SPRINKLER HEAD ADJUST TO SUIT
- SM HARD WIRED SMOKE DETECTOR
- CM CENTER DOOR MULLION
- RG ROLLER DOOR GUIDE
- ⌈ SUSPENDED CEILING LIGHT AT 2400mm ABOVE FFL, TYPE AS SPECIFIED
- ⌈<sup>L2</sup> RECESSED CEILING LIGHT TYPE AS SPECIFIED
- ⌈<sup>L3</sup> CONCEALED BULKHEAD LIGHT TYPE AS SPECIFIED
- DS DOUBLE STUD REFER STRUCTURE
- CG CORNER GUARD AS SPECIFIED

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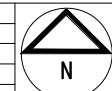
REVISIONS	DESCRIPTION	DATE
P1	DESIGN REVIEW	5.01.09
P2	DESIGN REVIEW	6.01.09
T1	TENDER ISSUE	21.01.09

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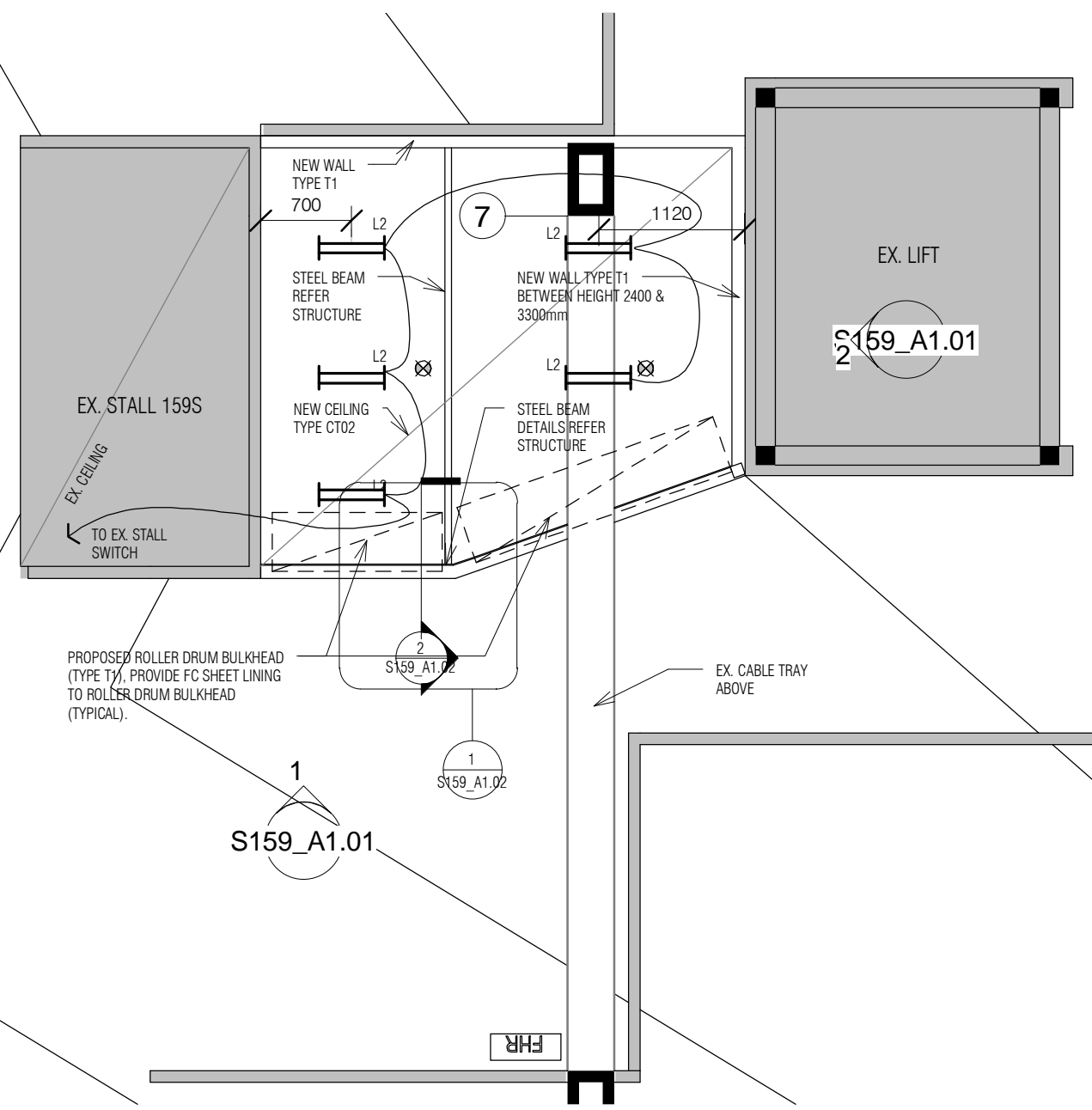
PROJECT | **South Melbourne Market Shop Remodelling**

CLIENT | **City of Port Phillip**

DRAWING | **Proposed Conditions\_ Stall 159 Roof Plan**  
 DRAWING No **S159\_A0.03** REVISION No **T1**

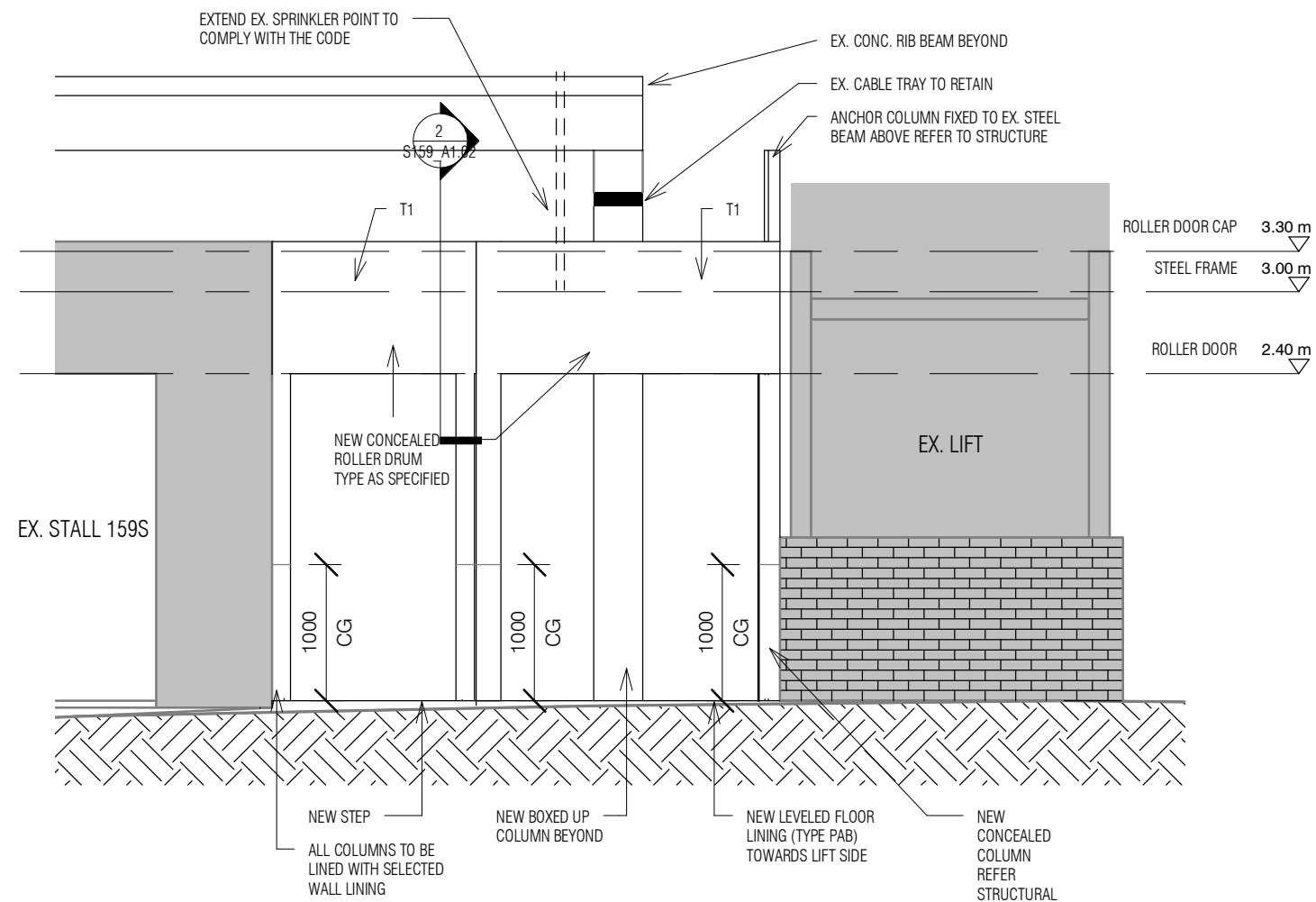
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JOB No.	182	
CAD No.		

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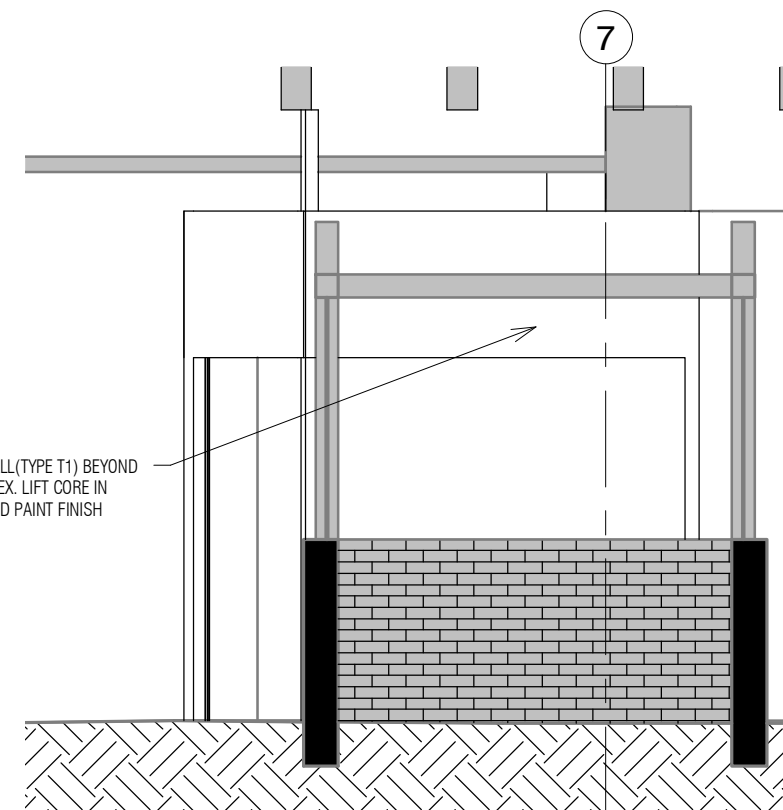


**1** Roof Parapet Stall 159  
 1:50

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1 Stall 159 North Elevation  
1 : 50



2 Stall 159 East Elevation  
1 : 50

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REVISIONS	DATE	DESCRIPTION
P1	16.12.08	CLIENT'S REVIEW
P2	14.01.09	CLIENT'S REVIEW
P3	16.01.09	DESIGN REVIEW
T1	21.01.09	TENDER ISSUE

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PROJECT | South Melbourne Market  
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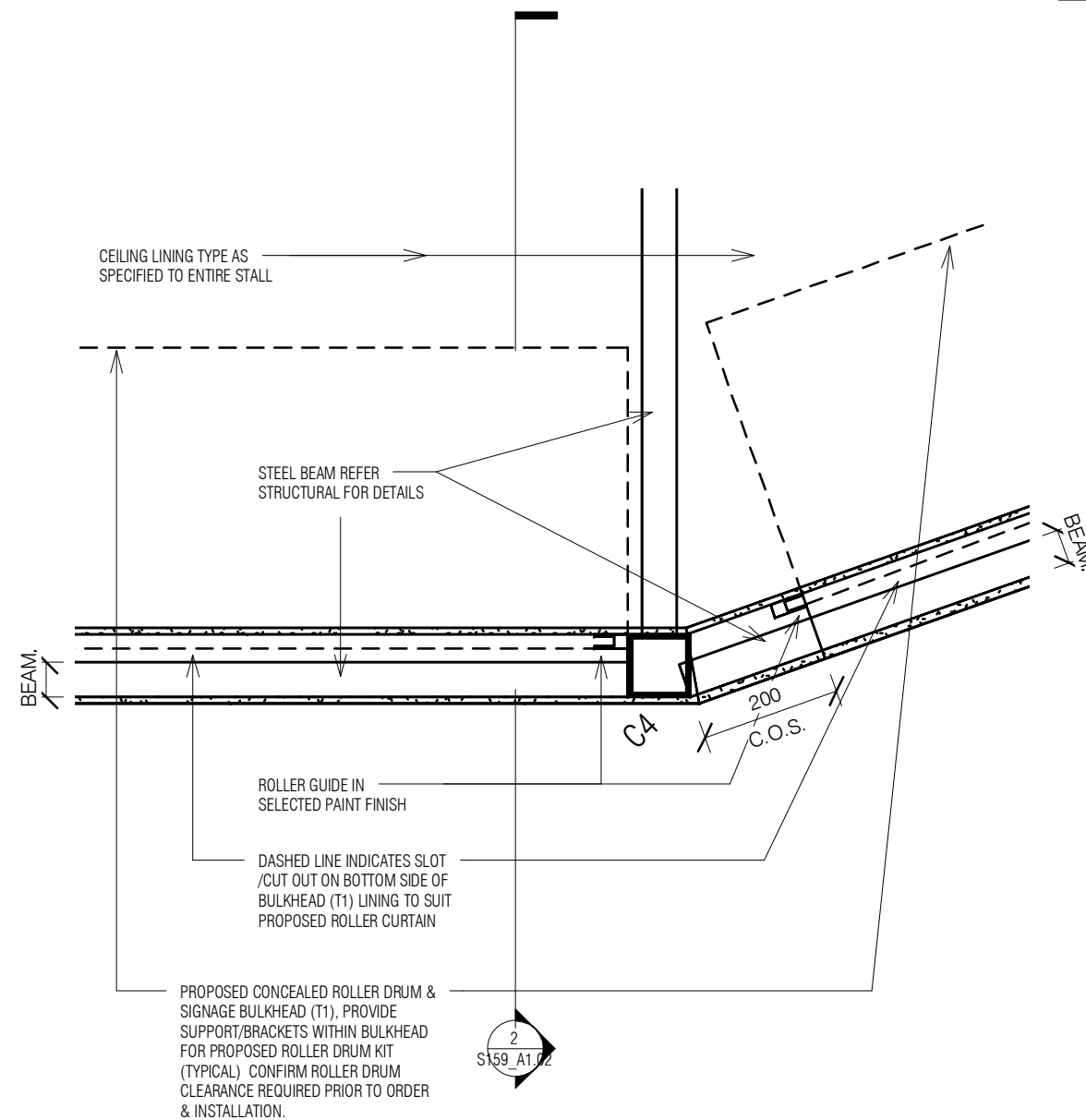
CLIENT | City of Port Phillip

DRAWING | Proposed  
Conditions\_Elevations\_Stall  
159

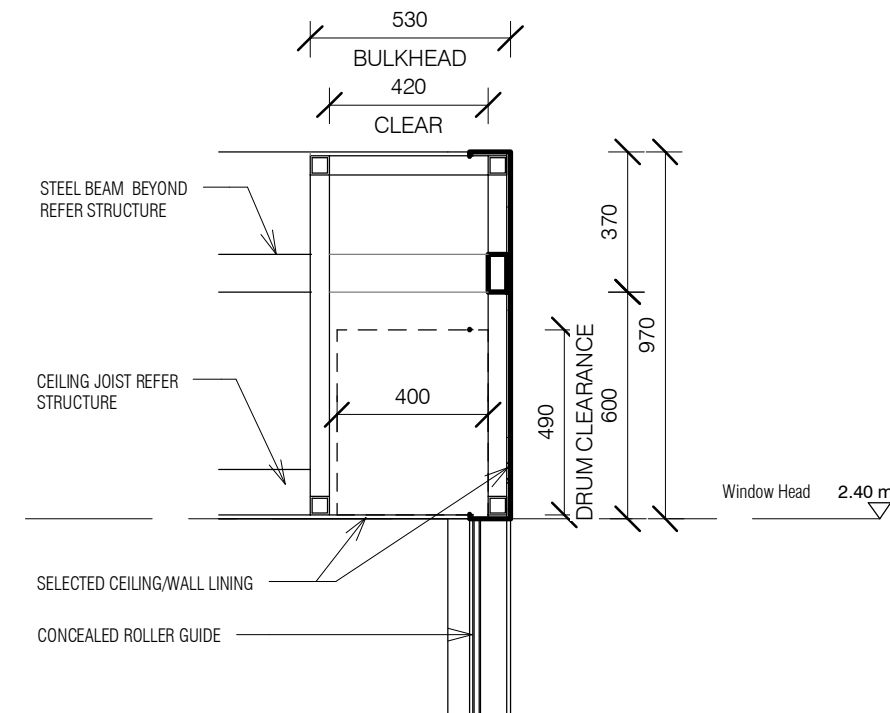
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DRAWN	YC
JOB No.	182
CAD No.	

TENDER ISSUE



1 Stall 159 Column Detail  
1:10



2 Stall 159 Section 1  
1:20

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T1	21.01.09	TENDER ISSUE	

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PROJECT | South Melbourne Market Shop Remodelling

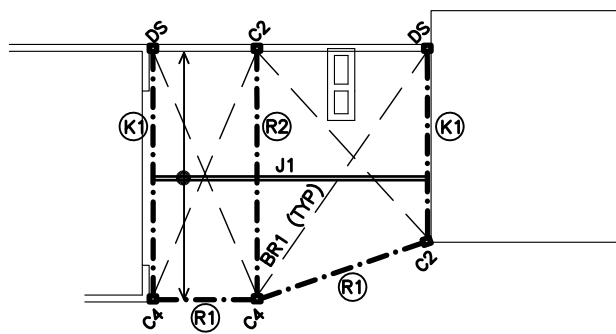
CLIENT | City of Port Phillip

DRAWING | Proposed Conditions\_Stall 159 Detail

DRAWING No S159 A1.02 REVISION No J1

DATE	01/16/09
SCALE	As indicated
DRAWN	YC
JOB No.	182
CAD No.	

TENDER ISSUE



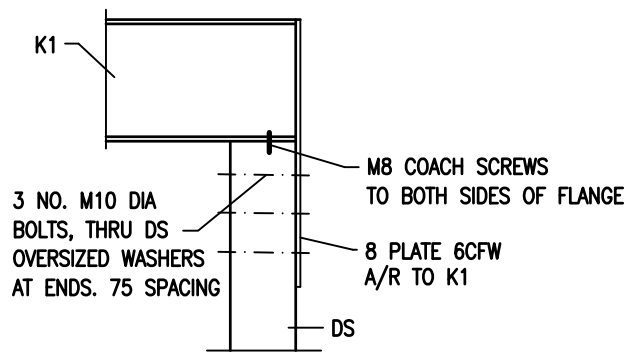
STALL 159

**FRAMING PLAN.**

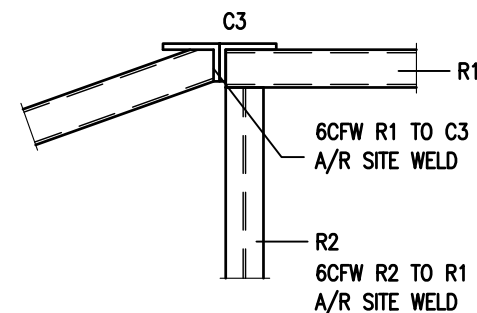
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**FRAMING SCHEDULE:**

J1	120 X 45 F17 KDHW AT 450 CRS.
R1	100 X 50 X 5 RHS
R2	150 UB 18
K1	150 X 75 PFC
C2	90 X 90 X 6 SHS GRADE 350 (FULL HEIGHT)
C4	90 X 90 X 6 SHS GRADE 350
DS	2/90 X 45 F17 KDHW STUDS
BR1	50 X 1MM HOOP IRON STRAP BRACING

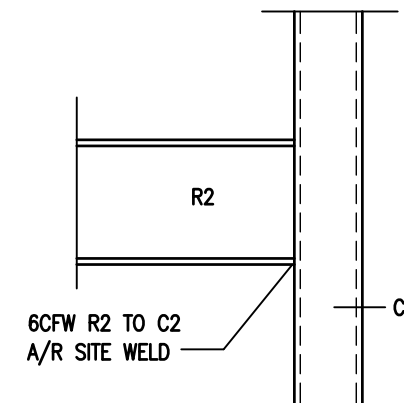


**K1 TO DS DETAIL**



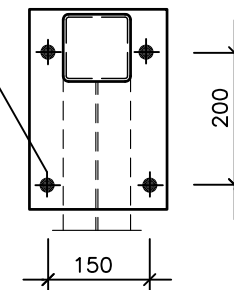
**R1 TO C3 DETAIL**

PLAN VIEW  
SAME DETAIL FOR K1, R1 TO C1



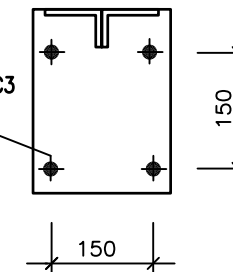
**R2 TO C2 DETAIL**

300 X 250 X 12 PLATE 6CFW TO C2,  
4 NO. M12 DIA GAL. CHEMSET  
BOLTS, 100 EMBEDMENT.  
INSTALLED AS PER MANUF. SPECIFIC.  
HOLES TO BE CLEANED OUT  
BEFORE INSTALLING CHEMSETS.



**C2 TO FOOTINGS DETAIL**

300 X 250 X 12 PLATE 6CFW TO C1, C3  
4 NO. M12 DIA GAL. CHEMSET  
BOLTS, 100 EMBEDMENT.  
INSTALLED AS PER MANUF. SPECIFIC.  
HOLES TO BE CLEANED OUT  
BEFORE INSTALLING CHEMSETS.



**C1, C3 TO FOOTINGS DETAIL**

BUILDER TO ENSURE STABILITY OF THE STRUCTURE DURING & AFTER CONSTRUCTION.

BUILDER TO CHECK THE CONDITION OF EXISTING STRUCTURE & PRIOR TO COMMENCING CONSTRUCTION.

**GENERAL NOTES:**

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECT'S DRAWINGS AND SPECIFICATIONS. ALL BUILDING DIMENSIONS SHOULD AGREE WITH ARCHITECTS DIMENSIONS, & VERIFIED ON SITE.
- DO NOT SCALE DRAWINGS. IF IN DOUBT ASK.
- DIMENSIONS ARE IN MILLIMETERS U.N.O.
- ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE ARCHITECT'S DRAWINGS TO BE REFERED TO THE ENGINEER OR ARCHITECT AS APPROPRIATE.
- ALL WORK ON THIS PROJECT AND MATERIALS USED SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUST. & ALL RELEVANT SAA CODES.
- CONTRACTOR TO ENSURE THAT HIS SUBCONTRACTORS HAVE THE RELEVANT PARTS OF THESE NOTES AND SPECIFICATIONS.

**CONSTRUCTION NOTES:**

- ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH AS 1684 SAA LIGHT TIMBER FRAMING CODE AND AS 1720 SAA TIMBER ENGINEERING CODE UNLESS OTHERWISE NOTED. (U.N.O.)
- PROVIDE ROOF AND WALL BRACING IN ACCORDANCE WITH AS 1684 SAA LIGHT TIMBER FRAMING CODE AND AS 1720 SAA TIMBER ENGINEERING FOR WIND TERRAIN CATEGORY 3, REGION A,  $V_p = 41\text{m/s}$ . IN ADDITION TO WHAT IS SHOWN ON THESE DRAWINGS.
- PROVIDE ADDITIONAL TIE DOWN OF ROOF MEMBERS IN ACCORDANCE WITH AS 1684 SAA LIGHT TIMBER FRAMING CODE AND AS 1720 SAA TIMBER ENGINEERING U.N.O..
- ROOF BEAMS AND BRACING DESIGNED BY OTHERS U.N.O.. WALL STUDS AND BRACING DESIGNED BY OTHERS U.N.O.
- ANY FRAMING NOT SHOWN ON THESE DRAWINGS ARE DESIGNED BY OTHERS.
- REFER TO ARCHITECT'S DRAWINGS FOR FRAMING NOT SHOWN ON THIS DRAWING.
- ALL RAFTERS TO TIMBER BEAMS/LINTELS CONNECTED AS PER MANUFACTURERS SPECIFICATIONS OR WITH FRAMING BRACKETS FOR SOLID JOISTS.
- STRUCTURAL STEELWORK SHALL BE IN ACCORDANCE WITH AS 1204 OR AS 1163 GRADE 300MPa U.N.O.
- STEELWORK SHALL BE GRIT BLASTED & PRIMED WITH AN APPROVED PRIMER PRIOR TO THE DELIVERY TO THE SITE THEN PAINTED, OR HOT DIPPED GALV.



**K20 architecture**

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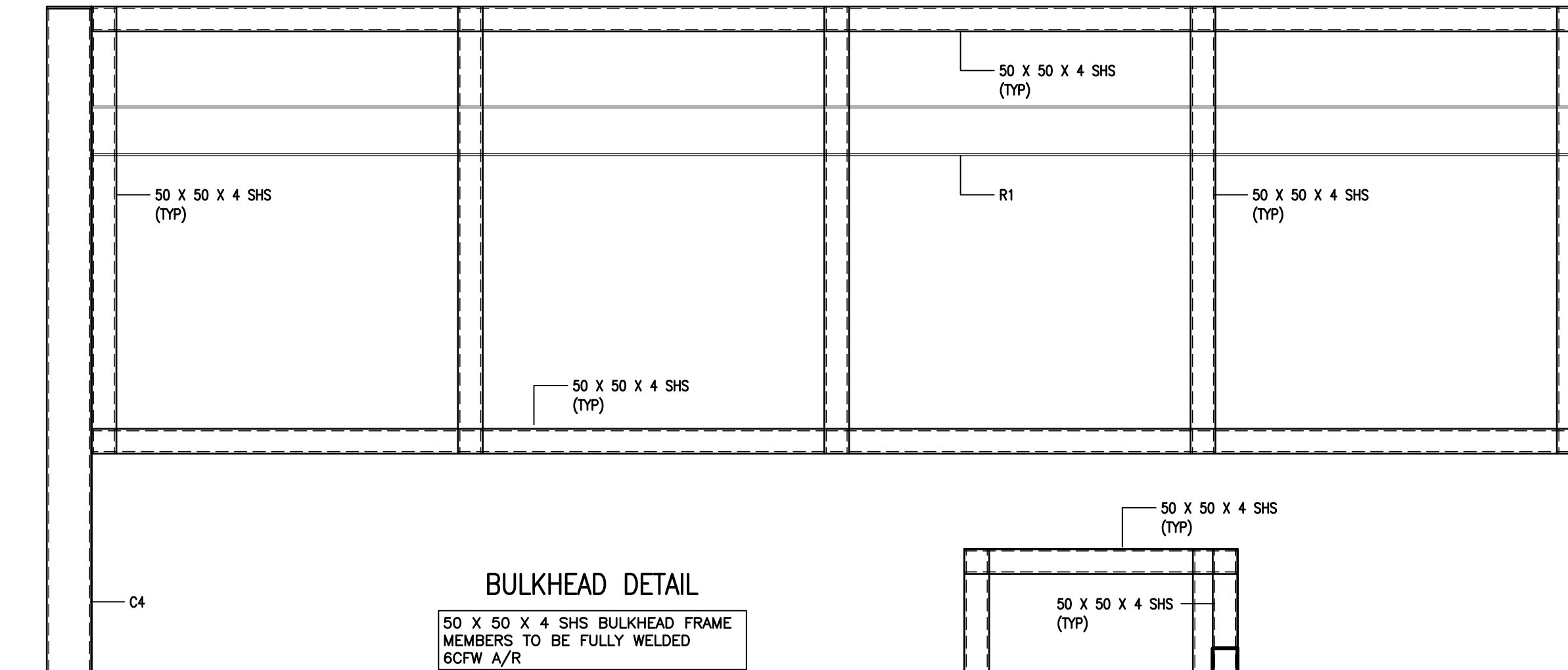
PROJECT.

**SOUTH MELBOURNE MARKET  
SHOP REMODELLING – S159**

**hb civil & structural  
engineers**

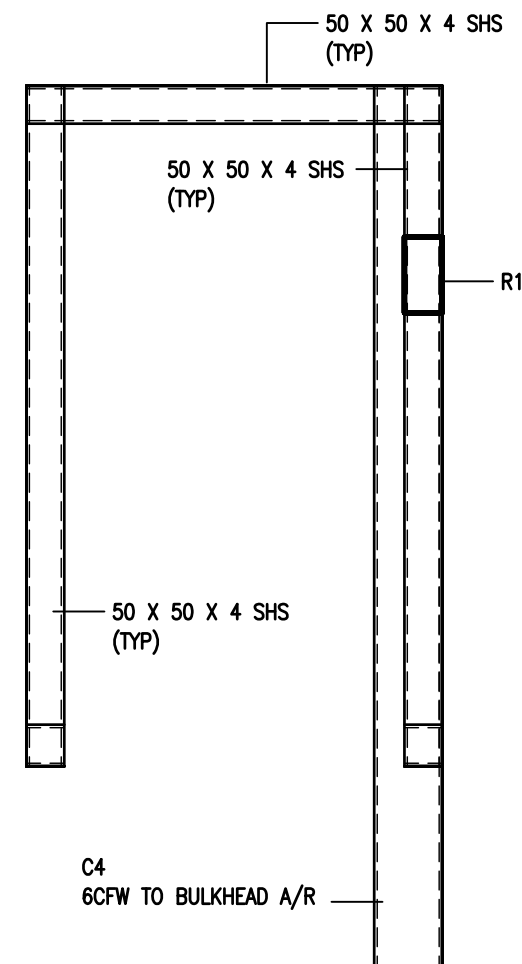
391 SWAN STREET  
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DESIGNED.	P. C.	DRAWING No.
DRAWN.	P. C.	<b>090101-S159-S1</b>
CHECKED.		
DATE.	JANUARY 2009	REV. No.
SCALE.	1:100 (DETAILS N.T.S.)	<b>0</b> 27/1/09



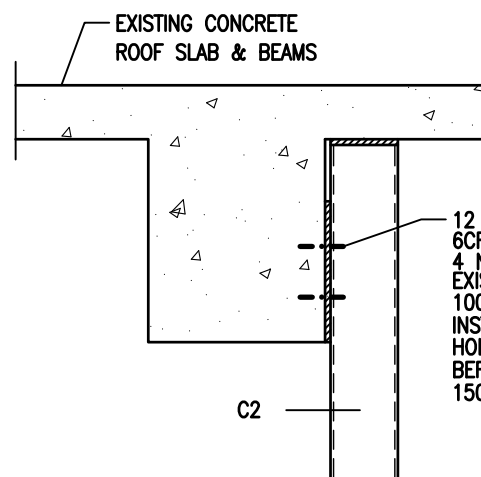
**BULKHEAD DETAIL**

50 X 50 X 4 SHS BULKHEAD FRAME  
MEMBERS TO BE FULLY WELDED  
6CFW A/R



**BULKHEAD DETAIL**

50 X 50 X 4 SHS BULKHEAD FRAME  
MEMBERS TO BE FULLY WELDED  
6CFW A/R



12 PLATE CLEAT  
6CFW TO C2  
4 NO M12 CHEMSETS TO  
EXIST. CONC. BEAM  
100 EMBEDMENT.  
INSTALLED AS PER MANUF. SPECIFIC.  
HOLES TO BE CLEANED OUT  
BEFORE INSTALLING CHEMSETS.  
150 MIN SPACING & EDGE DISTANCE.

**C2 TO CEILING DETAIL**

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PROJECT.  
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DATE.	JANUARY 2009	REV. No.
SCALE.	N.T.S.	<b>0</b> 27/1/09