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The Dunstan Estate

Griffin Avenue, Southward Crescent, part
Graham Street and part Williamstown Road,
Port Melbourne

Heritage Guidelines

Prepared for
City of Port Phillip
by
heritage ALLIANCE

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HERITAGE GUIDELINES FOR ALTERATIONS AND ADDITIONS TO DWELLINGS IN THE DUNSTAN ESTATE, PORT MELBOURNE

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PART ONE: BACKGROUND TO THE GUIDELINES

1.0 Introduction

History

The Dunstan Estate of dwellings was constructed in 1936 for the Premier's Department of the State Government of Victoria to designs prepared by the Victorian Public Works Department. The project occurred as a result of long-term concerns about housing conditions in Melbourne in the early 20th century and various efforts to address the issue, which had become focused on the vacant land of Fisherman's Bend following ongoing Port Melbourne Council pressure since 1906.

The State Bank Estate (Garden City) was constructed for deserving low-income families to purchase dwellings on favourable terms, but had not addressed the real problem of the need for rental housing. The Government was proceeding to appoint the Housing Investigation & Slum Abolition Board (HISAB) in 1936 when, in the attempted coup designed to relieve the political pressure, the Country Party Premier - Albert Dunstan, announced plans for 50 new dwellings to be built in the eastern corner of the intersection of Williamstown Road and Graham Street.

The minority Country Party Government was supported at the time by the Labour Party, hence the need for Dunstan to demonstrate some action to address working class concerns. Dunstan was also under pressure from social reformers, led by Oswald Barnett, who became chair of the HISAB and was responsible for the establishment of the Housing Commission of Victoria and one of its four foundation members.

The Estate was never named but for obvious historical reasons and for simplicity in these guidelines, it is referred to as the *Dunstan Estate*. The designs for the Estate by the Public Works Department under Chief Architect, Percy Everett, continued the theme of the garden city set by the State Bank Estate but reflected the popular eclectic tastes of the 1930's including English cottage, Tudor and neo-Georgian variations of basic types. Forty-six of the fifty proposed dwellings were built, four being omitted at the east end of the Estate where the Housing Commission "Quartets" now stands.

The use of distinctly varied styles and the diagonal arrangement of the sites and dwellings in Griffin Crescent and Southward Avenue are the major innovations of this project. To some extent it addressed concerns about the smallness of sites at Garden City, but otherwise it could be described as "window dressing" for political purposes. The addition of less than fifty dwellings to the housing stock of the metropolis was going to have little impact on the severe shortage of housing available for rental in the inner city – this problem had to wait until the Housing Commission of Victoria was formed in 1938 and began the business of serious dwelling construction at Fisherman's Bend in 1939.

Nonetheless, the Dunstan Estate was the first housing estate built for rental tenancies by the State Government of Victoria.

2.0 The Extent of the Dunstan Estate

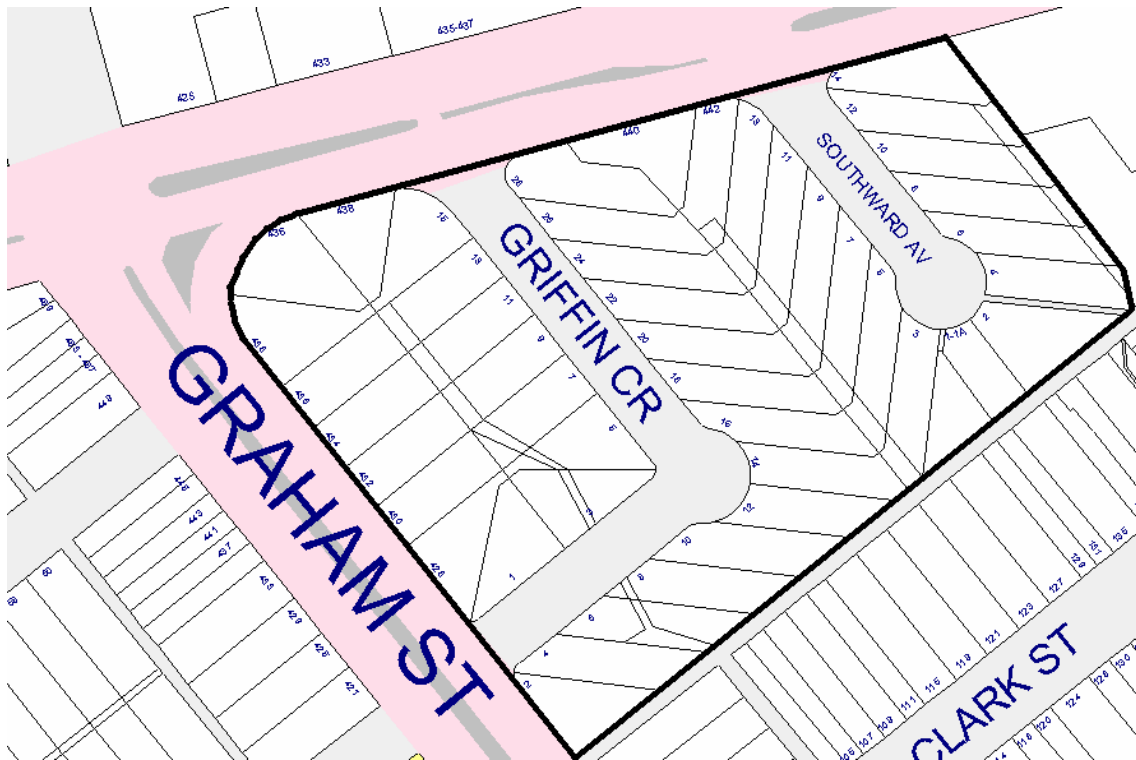


Figure 1: The Dunstan Estate

The properties covered by these guidelines are:

- ❑ 428 - 438 Graham Street
- ❑ 1 - 15 and 2 - 28 Griffin Crescent
- ❑ 1-1A - 13 and 2 - 14 Southward Avenue
- ❑ 436 - 442 Williamstown Road

3.0 The Heritage Significance of the Dunstan Estate

The Dunstan Estate in Port Melbourne, initiated by the then Premier of Victoria, Albert Dunstan, and constructed in 1936 to the designs of the Public Works Department, is of state significance as the first housing built by the State Government for rental rather than for sale.

The historical importance of the Estate lies in its contribution to a political progress towards the formation of a state-wide rental housing policy and its ultimate implementation by the Housing Commission of Victoria. The Dunstan Estate represents a small but important chapter in the attempts of politicians to provide working class housing.

The Estate's layout and collection of dwelling types adds some colour and interest to the essentially grim problem it confronted and its comfortable suburban image is softer than the more regimented designs of the earlier State Bank Estate and the Housing Commission Fisherman's Bend Estate which followed.

The Estate's heritage significance is physically embodied in the following;

- ❑ The layout of the estate and its continuation of the Garden City concepts first demonstrated at the adjacent State Bank Housing Estate in 1926.
- ❑ The unique layout of sites and buildings set diagonally to the street alignment.
- ❑ The integration of attached dwellings into the apparently much grander single composition that lent status to otherwise modest accommodation.
- ❑ The use of fashionable and pleasing designs for basic dwellings to support an image of a caring and capable State Premier who was prepared to tackle the housing crisis.
- ❑ The use of distinct Old English styles to create both ownership status and a variety of appearances for an otherwise standard dwelling type.

4.0 Important Features of the Dunstan Estate

The Estate is built on two streets which have asphalt finishes, a bluestone edge and concrete kerbing and in most places a wide nature strip with trees, concrete footpath, low height fencing, and a generous set back to the dwellings beyond.

The Estate comprises 23 pairs of semi-detached dwellings designed to four layouts:

- Type A of one bedroom (single storey);
- Type B of two bedrooms (double storey);
- Type C of three bedrooms (double storey) and
- Type D of four bedrooms (double storey).

Only two pairs of type A and two pairs of type D were ever built.

The variety in appearance of the dwellings was achieved by varying the façade treatment of each type and they are based on Old English styles popular at the time of construction.

The designs provided two treatments for Type B, three of Type C and two of Type D. In Type C (the most prolific), C1 is inspired by English cottages, C2 is neo-Georgian and C3 is Tudor influenced. The two pairs of dwellings omitted at the east corner of Griffin Crescent were intended to have been Type D.

The eclectic approach and the agreeably fashionable designs of the dwellings were probably a reaction to the much more strict approach to design employed at Garden City.

From the evidence of a number of early woven wire *Cyclone* side fences remaining, it would appear that this type was originally used consistently throughout the Estate for front fences. The existing street tree planting of Desert Ash reflects the popularity of the species at the time.

The most important feature of this small estate is its pleasing architectural and planning character as a close or contained group of dwellings, enhanced by the diagonal siting of buildings on relatively large sites.



Figure 2: Type A dwelling (single story)



Figure 3: Two storey Tudor style Type C dwelling



Figure 4: Two storey Georgian style Type C dwelling



Figure 5: Two storey Cottage style Type C dwelling

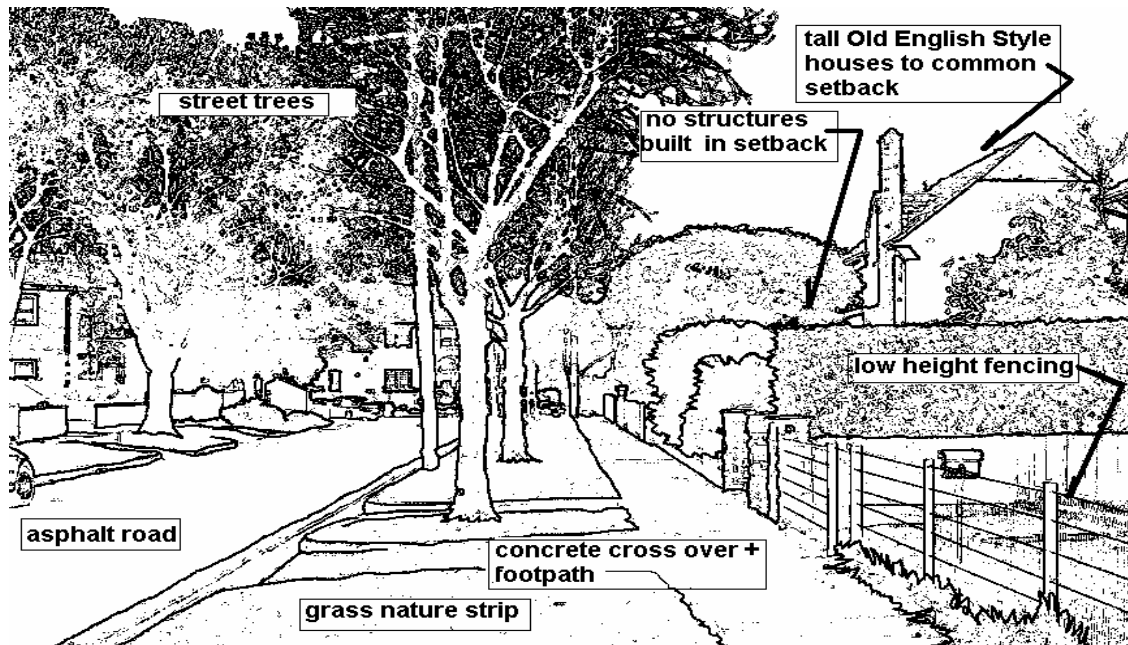


Figure 6: Essential features of the Estate

Individually, the buildings are significant in the way in which they each specifically contribute to the overall character of the Dunstan Estate. This is principally achieved by the recognisable variations in dwelling styles, both obvious and subtle. An example is the bricks used on one type of dwelling which vary from cream to clinker. The specific character of each dwelling therefore needs to be recognised and respected.

Each and every dwelling on the Estate contributes to the heritage significance and character of the Estate. Particular architectural features of note are:

- The scale of the Estate – the buildings, while being small dwellings, combine as pairs to appear more substantial than they are. The design of the single bedroom pairs with a large common gable roof belies the smallness of the individual dwellings.
- The differentiation between the types and their recognizable repetitions.

- ❑ The exposure of one side of pairs of dwellings on diagonal sites.
- ❑ The design of the dwellings as pairs both asymmetrical and symmetrical. The prominence of one entry and virtual concealment of the other in the asymmetrical types enhances this effect. In the neo-Georgian Type C2, the central porch with the symmetrical façade also reads as a single dwelling.
- ❑ The use of contrasting brick and rendered wall surfaces with occasional half timbering to dormer projections.
- ❑ A strong emphasis on chimneys.
- ❑ Consistent use of terracotta tiled roofs.
- ❑ Low front fences that do not obscure the public view of the dwellings.
- ❑ Concrete footpaths, kerb and channel and crossovers with grassed nature strips and asphalt roads.
- ❑ Wide side access to the rear of properties.
- ❑ Mature trees in private gardens, which enhance the English village atmosphere.
- ❑ Consistent street tree planting of Desert Ash in the nature strips, generally at the line of each side boundary (similar spacing to Garden City).



Figure 7: Desert Ash Tree, used for street plantings in Victoria, South Australia and parts of NSW.

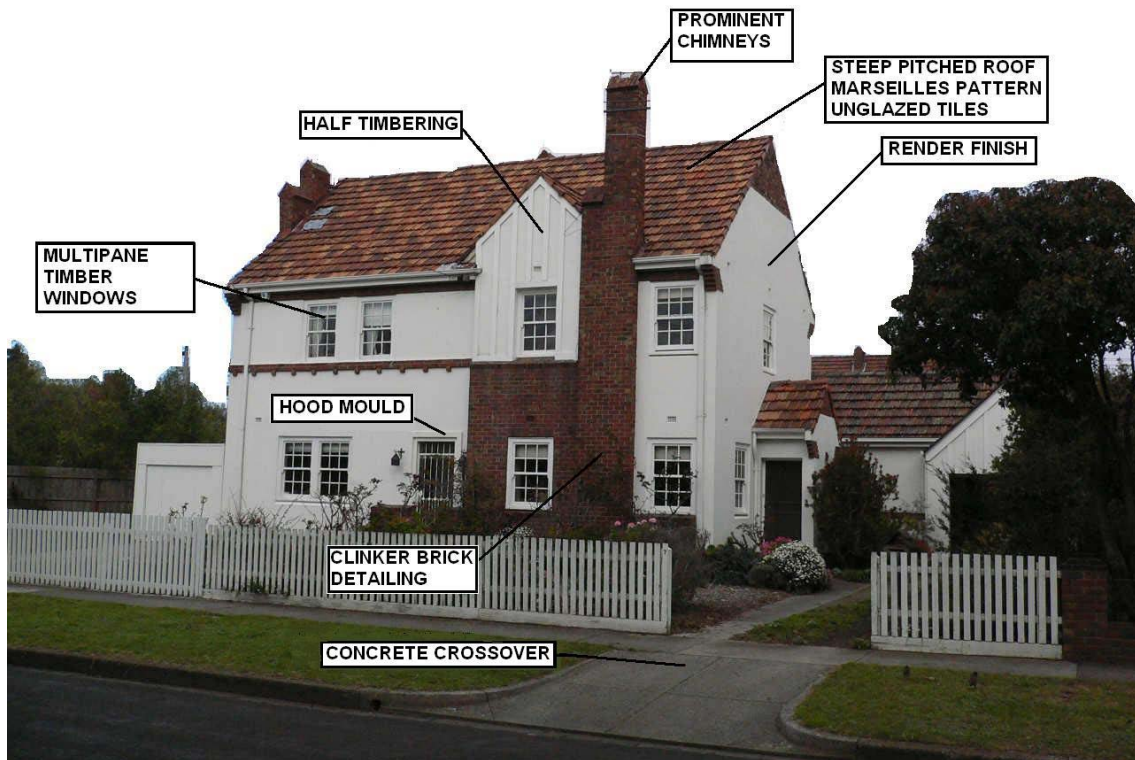


Figure 8: An intact Tudor influenced Old English style dwelling in the Estate, showing some of its important original features.

Interwar Old English style dwellings can be found throughout the suburbs of Melbourne. Those at the Dunstan Estate are a particularly fine collection of mostly two storey dwellings. The Tudor influenced dwellings like the one above have many distinguishing features such as:

- ❑ A high pitched roof accentuating gables and hipped forms with Marseille pattern tiles as the roof covering.
- ❑ Prominent chimneys, chimney backs and often individual chimney pots.
- ❑ Decorative render finishes combined with clinker bricks.
- ❑ Renderwork hood moulds over doors and windows.
- ❑ Tall multi-paned timber framed windows, sometimes using leaded diamond glazing.
- ❑ Half timbering, a feature that makes the style distinctive (half timbering is a combination of exposed timber framing elements with panels of rendering arranged as a decorative feature).
- ❑ Side porches.



5.0 Current Condition of the Dunstan Estate (2006)

The layout and architectural form of the Estate remains largely intact, although a number of planning permits have been issued for alterations and additions since 2000. The highly varied forms and complexity of the original buildings tend to reduce the impact of visible additions, most of which are sympathetic in form and detail and not immediately recognizable when viewed from the street. The wide side setbacks generally allow vehicles to be located towards the rear of the property and there is only one example of a car shelter intruding into the character of the Estate.

There are very few alterations to the fronts of buildings, except for changes to windows and the occasional use of roller shutters over windows. Fence designs tend to be varied. Apart from some properties fronting Williamstown Road, most fences are low and unobtrusive. A number of remnant woven wire fences can be seen at the sides of properties fronting Graham Street. There are only a small number of high impervious fences.

The condition of the dwellings and gardens is generally good. The condition of street trees is varied and some appear to have been removed along Graham Street and Williamstown Road.

Generally, the Estate has matured well and as yet there are no serious alterations to its character and heritage significance. There is an excellent opportunity for the continuing maintenance and further enhancement of its heritage values and the preservation of the Estate as an attractive place to live.

6.0 Application of the Guidelines

The Estate was once fully owned by the Office of Housing and maintenance works were organised through the Public Works Department. Today, most of the dwellings are privately owned and there is a need to set out standards for works and alterations so that changes do not affect the character of the individual dwellings or their contribution to the streetscape. The preservation of the streetscape character of the Estate and the visible individual forms of dwellings is essential for the retention of the Estate's architectural heritage significance.

In contrast with other estates developed for low-income occupants, the Dunstan Estate offers much more flexibility for development without diminishing its essential character. The guidelines therefore have an impact where, for example, an owner may seek to individualise one of a symmetrical pair of dwellings.

In the period since the dwellings were constructed there has been a substantially changed perception of accommodation needs and this has the potential to impact on the character of the Estate. The guidelines seek to direct change in order to support the objective of maintaining the Estate's special heritage values and character.

The Estate is included in a Heritage Overlay (HO2) in the Port Phillip Planning Scheme. As a consequence, a planning permit is required to:

- ❑ Subdivide or consolidate land.
- ❑ Construct a building.
- ❑ Construct, or carry out works (including fences).
- ❑ Demolish, remove or make external alterations to a building or works.

Whilst the Heritage Overlay offers general protection for the character of heritage places, it does not provide specific guidance on conservation management in individual areas such as the Dunstan Estate. These guidelines are prepared in order to define the important elements in the Estate, clarify development issues, and provide advice on conserving existing buildings and managing development in the area.

The guidelines should be used as the first step in the consideration of any development or works that may require a Planning Permit. It should be noted that works which are discouraged by the guidelines are not necessarily prohibited while works which are encouraged are not mandatory, however applications which comply with the guidelines have a greater chance of obtaining a permit.

The guidelines will be considered in the assessment of all buildings and works within the Estate that require a planning permit. Council planning staff should therefore be consulted early in the process to clarify how the guidelines will be applied to the assessment of individual applications.

The guidelines have been prepared by *heritage ALLIANCE* – Conservation Architects and Heritage Consultants, based on draft guidelines prepared by Trevor Westmore (former Heritage Adviser for the City of Port Phillip) in 2000.



PART TWO: THE GUIDELINES

7.0 Objectives of the Guidelines:

These objectives relate specifically to the Dunstan Estate;

- To protect the unique cultural significance and architectural character of the Dunstan Estate.
- To inform the community about the special qualities and significance of the Estate and how that significance is understood through the built fabric and layout of the Estate
- To recognize the changing needs of people living in the Estate and the potential to make alterations and additions to dwellings which do not affect the character of the area.
- To provide a clear and consistent basis for the assessment of planning permit applications, having regard to the heritage significance and important features of the Dunstan Estate.

8.0 Works in Public Areas

The Estate, when laid out, was to a common standard in terms of the detailing of roads (asphalt with bluestone edge and concrete gutters), footpaths (plain concrete pavements), pedestrian easements and the like. It is important to maintain that standard and to intrude on the original arrangement as little as possible.

Council is the majority owner of land in the municipality and has an equal responsibility that when carrying out infrastructure works, it plays a positive role in conserving, enhancing and maintaining the heritage character of the area.

Guidelines

- ❑ Works within the public areas of the Estate, including roads and the public reserves, should be consistent with the forms and materials of the original works with the minimum modification required to the original layout in order to meet current requirements and standards. This applies to roads and road surfaces, kerbs and channels, footpaths, crossovers and nature strips.
- ❑ Road surfaces should be maintained as asphalt with bluestone edging, with concrete gutters and kerbing.
- ❑ Any new works that are not part of the original (including repairs) should match the form and materials of the original parts.
- ❑ Road narrowing should be avoided as it impacts on the planned layout of the Estate.
- ❑ Tree planting conforming to the original layout should be enhanced (maximum of one *Fraxinus oxycarpa*, Desert Ash planted in the nature strip in front of each dwelling).

9.0 Additions and Alterations to Dwellings

The aim of the guidelines is to retain the important characteristics of the Estate which are visible in the public domain. For the purpose of these guidelines, the public domain is defined as any place within the public areas of the Estate, i.e. the surrounding and internal streets, but excluding the rear lane running parallel to Clark Street. Views from the public domain can include both distant views from the ends of the street and close-up views from directly outside the property.

Single or double storey alterations and additions to the rear of a dwelling should be unobtrusive in their view from the public domain. Contemporary additions will be considered where they are sympathetic to the Dunstan Estate and are recessive in their form.

In no case should an addition or alteration physically or visually overwhelm or dominate the original building or its neighbour. Generally, this will exclude large two storey additions unless they are well set back from the front.

It should be noted that because of the diagonal siting of many of the dwellings, the side elevation can be highly exposed to street views. Development of such sites will require special consideration because of their visibility.

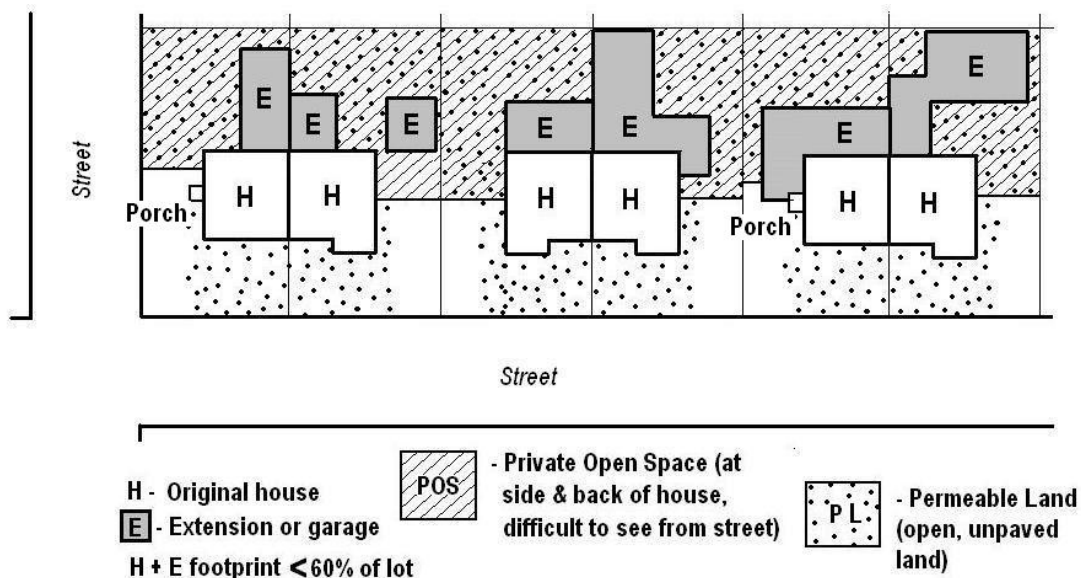


Figure 9: Schematic Development Options showing an example of where extensions for living spaces and garages may be placed to preserve Private Open Space (POS) and permeable areas, without adversely affecting the heritage values of the housing sites.

10.0 Additions to Single Storey Dwellings

Guidelines

Single storey additions to single and two-storey dwellings should be designed to preserve the original major elements of the visible facades of the dwelling. Contemporary additions will be considered where they are sympathetic to the Dunstan Estate and are recessive in their form.

Additions will generally be supported where:

- ❑ They are wholly behind the adjacent front wall of the dwelling by a minimum distance of 600mm or;
- ❑ They are set back behind the original dwelling entry porch or canopy, if it is located at the side of the building.
- ❑ Roof forms, pitches and materials are the same as the main structure.
- ❑ The original chimneys are retained.
- ❑ Window openings, if visible from the street, are of similar proportions to those of the existing dwelling (i.e. if windows are of a vertical arrangement, then new windows should follow that pattern where visible from the street).
- ❑ The original main gable remains dominant and unaltered. A new gable or hip roof to a single storey dwelling may be extended to the side but the height of the new roof should be significantly lower.
- ❑ Use of the roof space to create an additional level will be acceptable provided that the roof is not altered and no new windows, dormers or extensions to the roof are visible from the public domain.

Two storey additions to single storey dwellings will generally be supported where:

- ❑ The extensions are to the rear of the property and are designed to be difficult to see from the public domain.
- ❑ Any visible portions are minor in nature and are views of walling or roofing.
- ❑ Materials used are substantially similar to the existing dwelling.
- ❑ The overall footprint of the extension is less than the existing building.
- ❑ The development is contained within a 10 degree development line which extends from the front gutter of the single storey dwelling as per Figure 10 below.

Contemporary additions will be considered where they are sympathetic to the Dunstan Estate and recessive in their form.

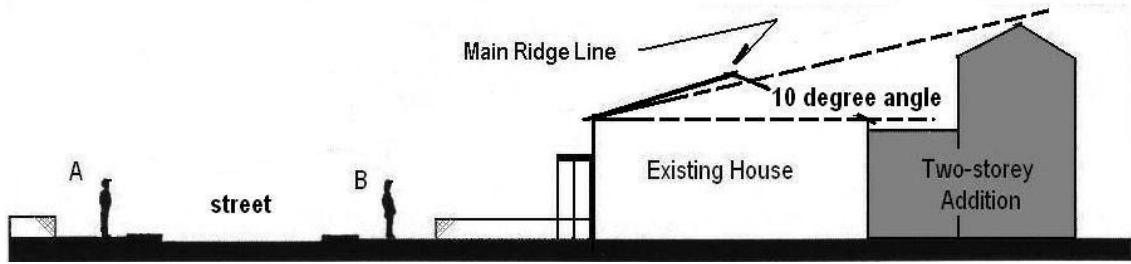


Figure 10: Side view of a two-storey addition to a single storey dwelling may be partially visible in distant views (eg to person A) but should be contained within a 10° building envelope established from the front of the dwelling and using the gutter line as the base line. The addition should be almost wholly invisible to person B.

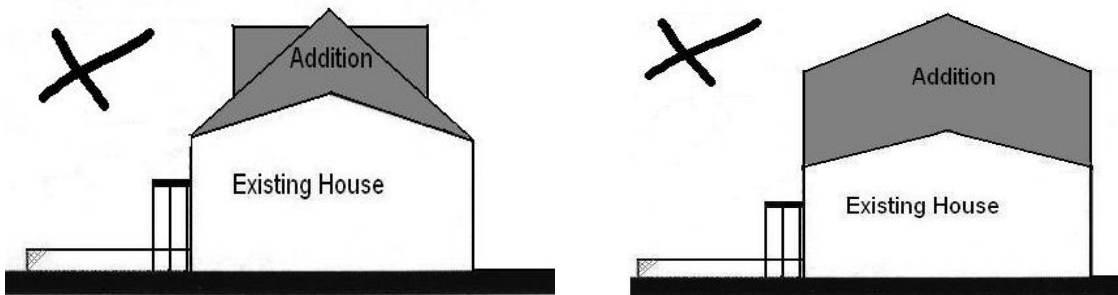


Figure 11: Side view of an unacceptable two-storey addition to a single storey dwelling. These forms change and dominate the roof of the original dwellings.

11.0 Two Storey Additions to Single and Two Storey Dwellings

Guidelines

Two storey additions to single and two storey dwellings may be permitted if:

- ❑ They are sited to the rear of the existing dwelling.
- ❑ They are set back behind the major original roof form. In some cases a building may be less exposed to the public view. In this case a two-storey addition may encroach to half the depth of the original dwelling (refer to Figure 12).
- ❑ The roof is of noticeably lesser height than that of the original dwelling.
- ❑ The walls of the addition do not exceed the height of those of the existing dwelling.
- ❑ Roof forms, pitches and materials are the same as the main structure.
- ❑ The original chimneys are retained and unaltered.
- ❑ Window openings visible from the street are of similar proportions to those of the existing dwelling.
- ❑ Any new dormers in the roof space are sited to the rear (refer to Figure 15).
- ❑ Contemporary additions will be considered where they are sympathetic to the Dunstan Estate and are recessive in their form.

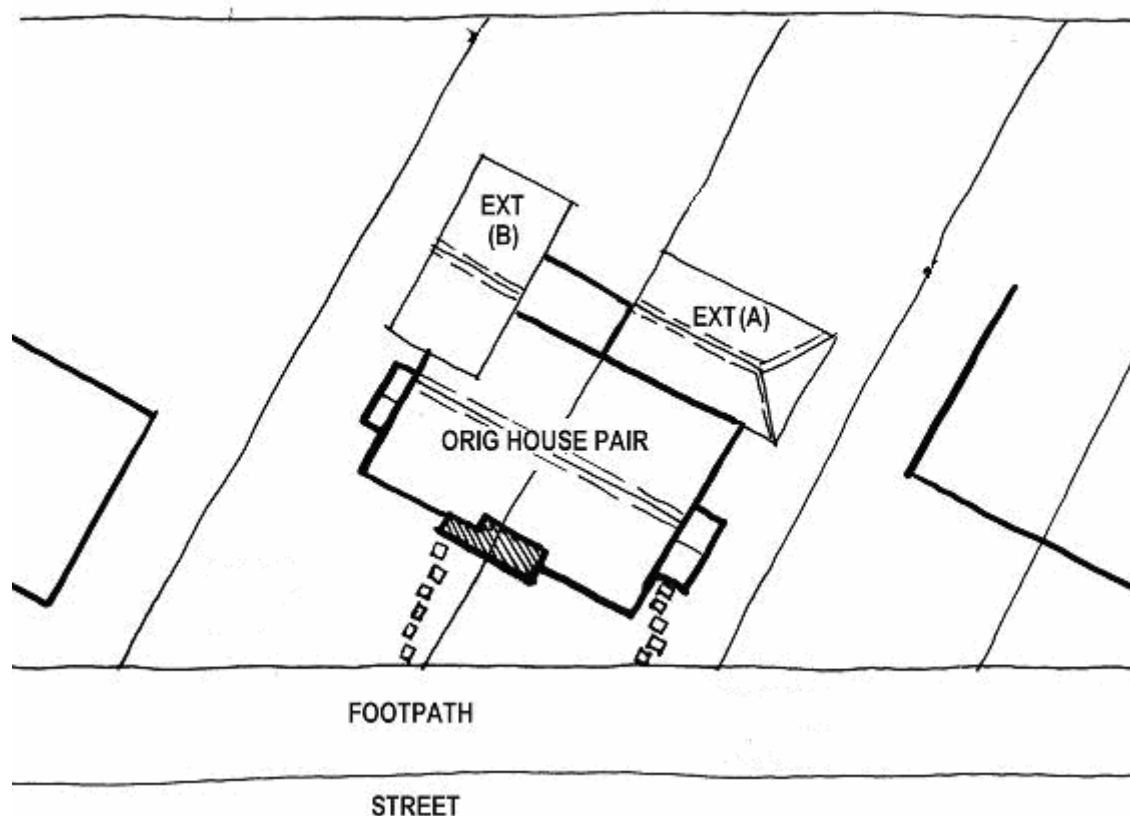


Figure 12: Plan view of extensions at the rear of diagonally placed dwelling pairs.

A two storey extension on a diagonally sited dwelling pair may be behind the main roof form of the dwelling (Ext A) or may encroach to half the depth of the original dwelling (Ext B).

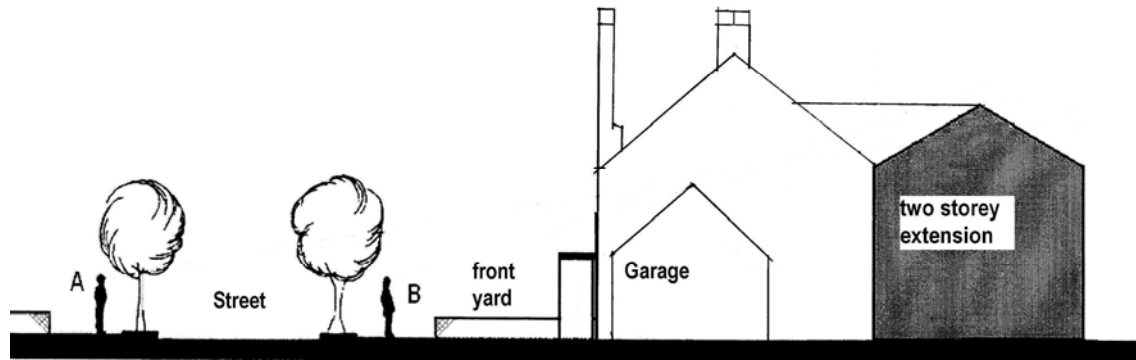


Figure 13: Side view of an acceptable two-storey addition to a two storey dwelling with the roof set lower than the main roof. If the new roof is visible it should be finished in Marseilles terracotta tiles to match the original roof.

12.0 Parking, Garages and Carports

The layout of the Estate has allowed for the parking of motor vehicles off the two main streets at some, but not all, of the dwellings. There is a laneway running parallel with Clark Street from which some off street parking can be introduced. No original garages appear to have been built in the Estate.

New garages and carports fall under the same policies as single storey additions. New built structures should not be built in the front yards of these dwellings.

Guidelines

Parking of cars, and construction of garages and carports should address the following guidelines:

- ❑ New driveways to uncovered parking, carports or garages may be permitted provided that the proposed crossover does not coincide with the location of street trees and a suitable distance is provided between the edge of the crossover and the street tree (in accordance with Council requirements).
- ❑ New driveways and crossovers should be constructed in uncoloured concrete and tracks should be used wherever possible to minimise their impact.

Garages and carports may be permitted if:

- ❑ They are sited behind the adjacent front wall of the dwelling by a minimum of 600mm.
- ❑ They are set back behind the original dwelling entry porch or canopy if this original feature is located at the side.
- ❑ Carports (an open structure) are designed to reflect a pergola type construction, or are built in similar materials and forms to that of the dwelling. Carports including their roof eaves should not be built forward of the front wall of the dwelling.
- ❑ Garage roofs at the frontage reflect the roof pitch of the main dwelling and are finished with terracotta Marseilles pattern tile. Garage doors should not be roller shutters but may be tilt up doors with vertical timber or metal cladding.

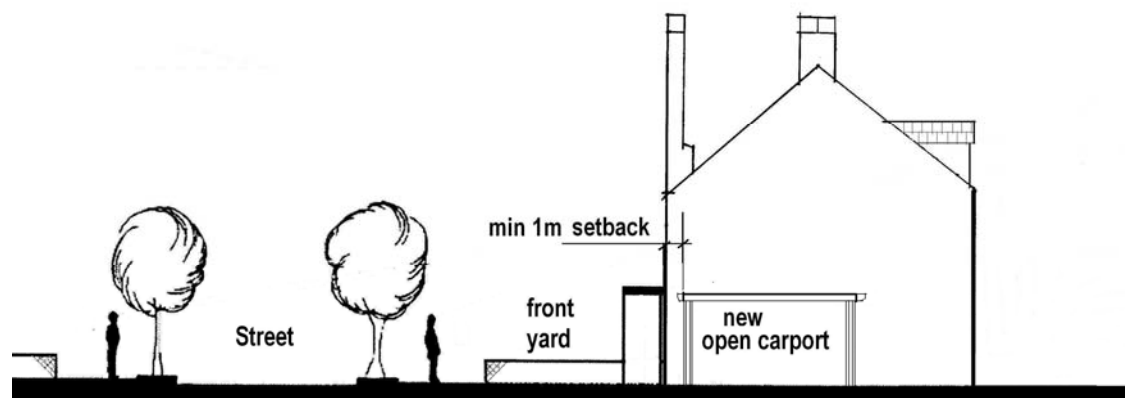


Figure 14: Side view – a new open carport must be set back at least 1 metre from the front façade of the dwelling.

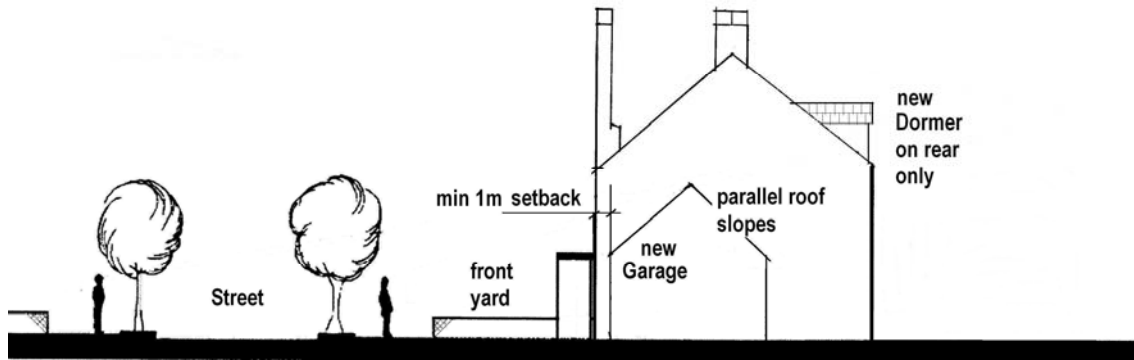


Figure 15: Side view – a new garage must be set back at least 600mm from the front façade of a dwelling. Roofs must be parallel with the slope of the existing roof and use the same roofing material. Any new dormers in roof spaces must be at the rear only.

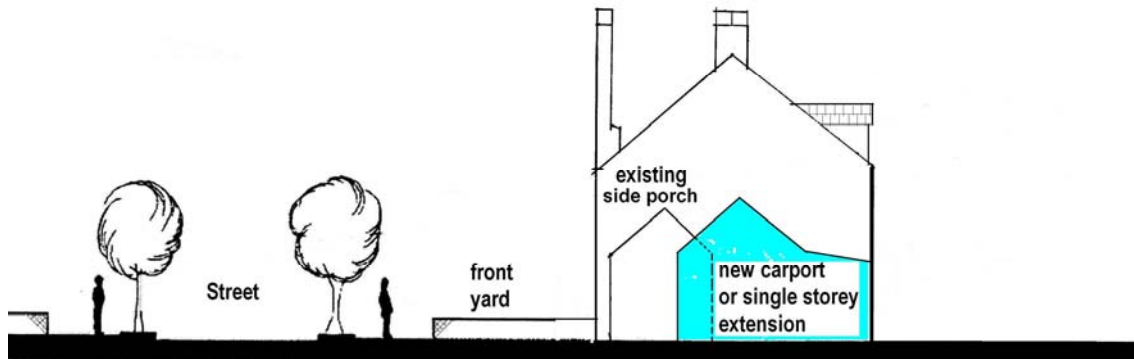


Figure 16: Side view – a new addition used as a carport, garage or dwelling space must be set behind an existing side porch. Roofs must be parallel with the slope of the existing roof or porch and use the same roofing material.

13.0 Fences

There is little evidence of the Estate's original fences and it may be that very few were constructed. The earliest identifiable type is a cyclone wire and pipe rail fence. It is known that in other housing estates very simple horizontal plank fences were constructed as an interim measure.

Many of the existing fences appear to have been constructed in the 1950's in brick as well as brick and wrought metal work. More recently paling fences of various designs have been introduced along with high brick walls.

Most replacement fences now found in the Estate are relatively low and use various combinations of brick and wrought iron. To maintain the character of the Estate, front fences should remain low and the materials should be in character with the materials of the Estate. Inter-war styles are highly appropriate.

Guidelines

New fences may be permitted if:

- ❑ At the front of the property (including the side fences in the dwelling frontage), they are no higher than 1.2 metres to the top of the fence panels for transparent/diamond wire fences and 1 metre to the top of the fence for brick fences. Posts may be higher.
- ❑ The style of fence is reasonably appropriate to the period of the Estate, i.e. Interwar styles using masonry or wire between steel tube posts or timber posts with steel tube rails. Decorative woven wire and diamond woven wire are preferred.
- ❑ Apart from posts or piers, fences have a straight top and are not scalloped.
- ❑ Side and rear fences behind the front wall of the dwelling and from the side boundary to the building do not exceed 2 metres in height and are preferably of palings.

Front timber fences, including pickets, are generally inappropriate. Side and rear fences may be timber. Some acceptable examples are shown in the illustrations overleaf.

It should be noted that fences and walls of any reasonable height are ineffective in providing useful acoustic protection on major traffic routes – double-glazing the windows facing the road will be more effective.

Residents seeking greater privacy should use landscaping rather than high solid fences or walls.



Figure 17: An early metal fence – Cyclone steel tube type (acceptable)



Figure 18: New woven wire fence on timber framing set to a low height (acceptable)



Figure 19: Timber fence of simple board pickets with a top rail (acceptable)

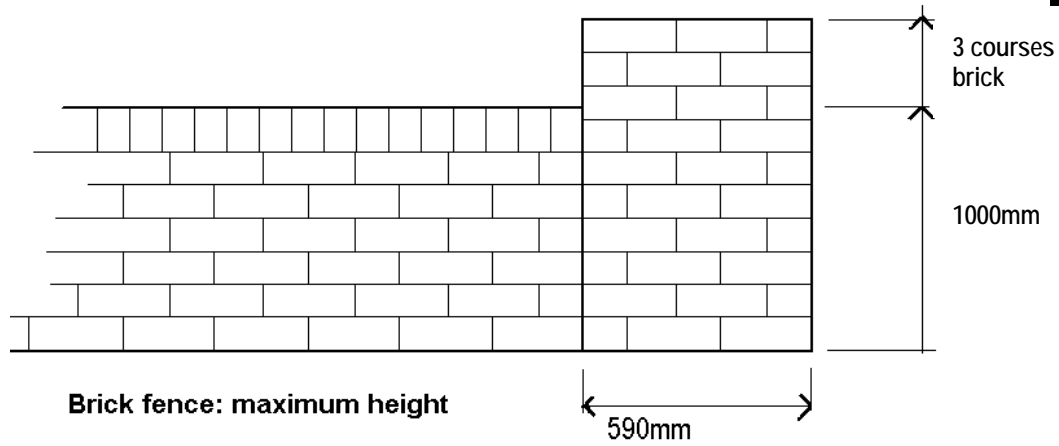


Figure 20: Simple brick front fence with bricks of similar colour and size to the clinkers of dwellings. Maximum height 1000mm.

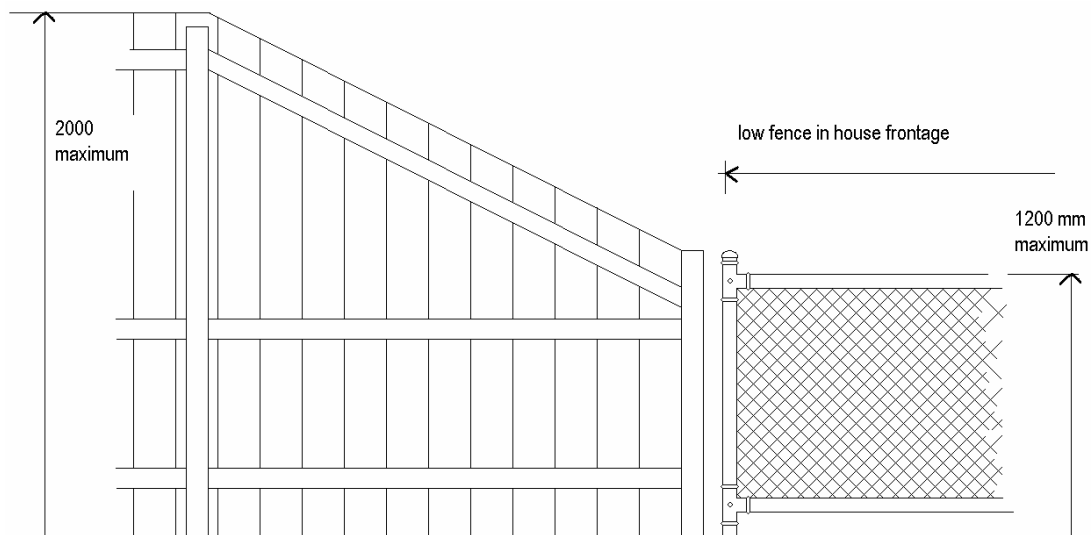


Figure 21: Mid fence between two dwellings with the solid timber fence starting behind the façade of the dwelling and the lower transparent fence in the front yard

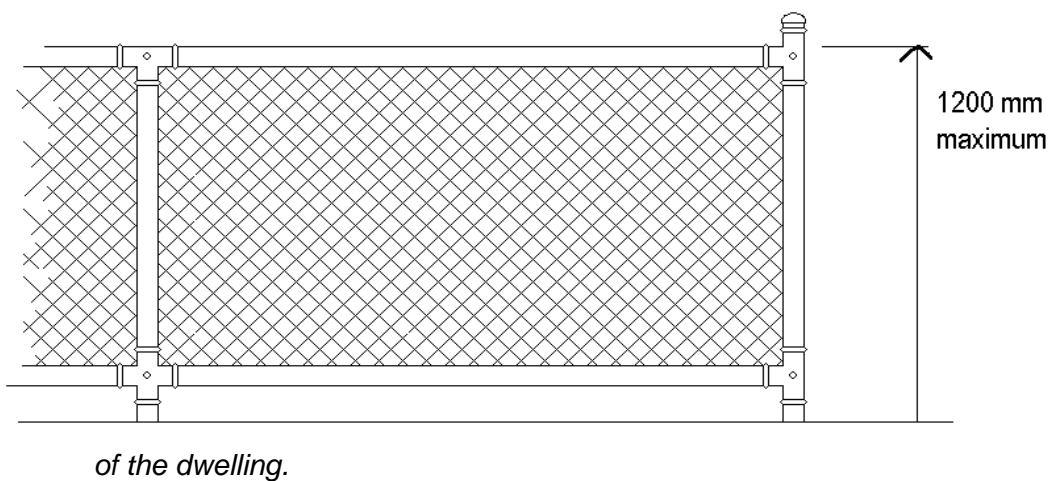


Figure 22: Front fence in diamond wire. Maximum height 1200mm.



14.0 The Dwellings: Construction Details and Materials

The original construction details and materials play an important supporting role in establishing the historic character of the Estate and it is important that the pattern of varied materials is not altered. The use of similar materials and details in the visible parts of new work and in restoration of the original features of dwellings is therefore encouraged.

The Estate uses materials common across all the dwellings. It is the placement of those materials which make the dwellings different from each other but maintains the visual cohesiveness of the Estate.

The restoration of missing original materials and details is encouraged. The use of compatible materials and detail is also encouraged on new additions which are partially visible in the public domain.

Guidelines

14.1 *Roofs*

Roofs of all dwellings are of Marseilles pattern terracotta tiles of a subtle colour mix. The same materials and colour mix should be used for repairs and for additions. Dark colour tiles, glazed tiles, concrete tiles and tiles not in a Marseilles pattern are inappropriate and are not encouraged.

14.2 *Chimneys*

Chimneys stacks above the roofs are an important part of the design of many of the dwellings and form important elements of their elevations. All externally expressed chimney features must be retained.

14.3 *Roof Gutters, Verges and Downpipes*

The roof verge details of dwellings vary. The existing pattern on the original building should be employed in new works. Bullnosed gutters are the standard for the Estate and other types should be avoided. Downpipes should be circular in section.

Plastic, aluminium and Colorbond squared gutters are inappropriate and are not encouraged.

14.4 *Walls*

Wall treatments vary between the dwelling types – bricks vary in colour from cream to over-burnt (clinker) while Type B1 is wholly rendered. Some dwellings combine both rendered and brick wall surfaces. These distinctions must be retained in all alterations and additions to dwellings.

- The pattern of wall treatments used in the original dwellings should be applied in any new works which create habitable space. This will mean that similar bricks (often second hand) may need to be purchased.
- The walls of new work should generally match those of the existing dwelling, although slight variations in brickwork will be inevitable.

14.5 Porches and Entries

The original porches and entries to the dwellings also vary considerably in form, from the coupled central porches of the neo-Georgian pairs (Type C3) to the basic side entry doors with a small canopy on the English cottage type (Type B1) and others.

The patterns of porches and entries are critical to the design of the pairs.

- ❑ The original porches should be retained in all cases.
- ❑ Modest alterations and additional elements such as extensions of canopies may be acceptable, but only to unprotected doors that are more or less concealed at the sides of dwellings.
- ❑ The use of transparent screen doors at porch entries is acceptable, however glazed or solid doors are inappropriate and are not encouraged. Screen doors should be of a dark colour.

14.6 Windows and Doors

Many, but not all, of the original timber double-hung multi-pane windows of the Estate have been replaced. While this does not significantly reduce the heritage values of the Estate, it does diminish its character. Retention of the existing multi-pane windows and reinstatement of those windows which are missing (where they are visible in the public domain) is encouraged.

- ❑ Where non-original windows are to be replaced, the preferred option is that they revert to their original form and detail. This is important if the windows are visible in the public domain.
- ❑ Alteration to the size of window openings in the front facades of dwellings will not be acceptable. New or enlarged windows and bay windows are not acceptable at the front of the dwelling.
- ❑ Alteration to windows in the side facades of dwellings may be permitted provided that the proportions of the new windows relate to existing windows.
- ❑ Front doors are generally not exposed. Retention of original doors is encouraged, but if the door is not visible from the street, it may vary in form.
- ❑ The conversion of windows to doors is discouraged on the front and side elevations.
- ❑ Fly or security screens, if added, should be of a simple pattern, preferably painted in a colour matching the window frames.

Where noise attenuation is an issue, double-glazing is encouraged. This does not require a planning permit if the pattern of the existing window glazing is not altered, and the double-glazing of windows (which may be in the form of inward opening casements) occurs on the inside of the existing windows.

14.7 External Finishes

The general character of the Estate relies on the use of contrasting materials. Some dwelling types have uniform wall finishes of brick or cement render, but it is the types with varied surfaces that lift the visual character of the Estate.

Given that the dwelling pairs were designed to appear as one building, it is important that adjacent owners do not attempt to individualise their side as this may result in an artificial differentiation between parts of the pair. Owners should attempt to achieve a common solution for the treatment of pairs, particularly in the use of finishing schemes. The following guidelines should be observed:

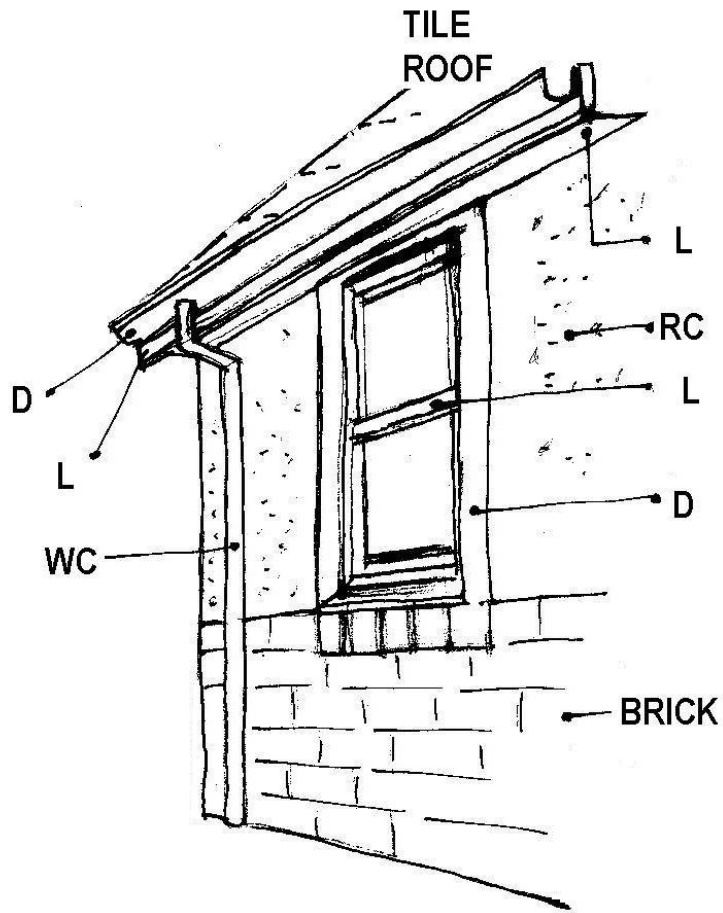


- ❑ In no circumstance should unpainted brickwork be painted. It is recommended that any previously painted brickwork have the paint removed (by high pressure water methods or chemical methods, not sandblasting).
- ❑ Rendered surfaces should ideally be repainted in pale grey or stone colours, using a matt or slightly textured acrylic paint.
- ❑ Neighbours in pairs are encouraged to agree on the same or similar colour schemes.

14.8 Colours

The following general approach should be used as a guide for colour selection.

1. Roof Gutters Should be painted in a dark colour. Deep reds or deep greens or red-browns would be most appropriate (refer to area 'D' in Fig. 23).
2. Fascias and Eaves Should be painted in a colour ranging from cream to light stone (refer to area 'L' in Fig. 23).
3. Rendered Surfaces Should be painted in characteristic render colour and should not be painted if in good condition (refer to area 'RC' in Fig. 23).
4. Brickwork Brickwork should never be painted. If brick walls have already been painted, the removal of paint by high pressure water or chemical means is recommended. Brickwork should never be sandblasted.
5. Half Timbering Half timbering was probably originally stained. The use of opaque timber coats to replicate natural stained timber is recommended. The timber should contrast with the rendered background.
6. Windows The original dwellings probably used two colours on windows. Use of the dark trim colour as for roof gutters is recommended for window frames. The moving parts (i.e. the sashes) should be painted in a contrasting light colour, as should fascias and eaves (refer to areas 'D' and 'L' in Fig. 23).
7. Exposed Doors Should be painted in the dark trim colour. Doors under porches should be painted a light colour.
8. Screen doors Should be painted in a dark colour.
9. Downpipes Should be painted to match the render colour on the wall (refer to area 'WC' in Fig. 23).



D – dark trim colours for gutters and outer window frames

L – lighter colours for barges, eaves and inner window frames

WC – render colour (wall) for downpipes

RC – render colour (wall)

BRICK – unpainted

Figure 23: Application of colours to dwellings in the Estate.

15.0 External Fittings

External elements should be located so they are substantially invisible in the public domain. This will mean that most new fittings will either be wholly to the rear of the property or in the case of pipes, cables and security screens, the works will be internal.

Guidelines

The following guidelines should be addressed in any proposal to add external elements:

15.1 *Solar Hot Water and Solar Cells*

Solar panels should either be wholly hidden on rear roof slopes or be on subsidiary roofs where they are not apparent in the streetscape.

They should not be on the front roof slope of the dwelling

15.2 *Satellite Dishes*

Satellite dishes should be on rear roof elements. Satellite dishes must not be on the front roof or chimneys or attached anywhere that makes them apparent in the streetscape.

15.3 *External Cabling, Ducting and Pipes*

External ducting, pipes and cabling should not be on the portions of the dwelling visible from the street. This applies to cabling for television, service pipes for water and sewerage, and air handling ducts. Such cables and pipes may be placed externally on the rear of the dwelling.

15.4 *Pergolas and Vergolas*

Pergolas and Vergolas® should not be attached to the front façade of the dwelling or be constructed in the front setback between the fence and the dwelling frontage.

Depending on the degree of visibility and size, they may be permitted to the rear or sides of the dwelling.

15.5 *Sunblinds*

Sunblinds and awnings (temporary and permanent) should compliment the character of the dwelling and should be designed to be as unobtrusive as possible.

External sunblinds can be simple pull-out striped canvas shades.

15.6 *Screens and Security Grilles*

Electric metal shutters should not be installed on the side or front windows of the dwelling. They may be installed on rear windows where not seen from the street.

Timber shutters may be permitted on windows provided they serve a functional purpose, i.e. the shutters should be fully operable. False shutters which clearly could not cover the window and serve no functional purpose are not acceptable. It should be noted that the neo-Georgian dwelling-pairs were originally intended to have timber casement window shutters on the upper floor and original shutter clips remain on some of these designs.

Security grilles should be installed inside windows that can be seen from the street. Grilles may be installed externally where the window is obscured in the view from the street.

15.7 Air Conditioners and Air Package Units, ducted heating furnaces

Air conditioners, air package units and heater furnaces should not be visible from the street. Air package units may be located on rear roof slopes and below the ridge lines.

Air conditioners, fan units and condensers and furnaces may be located:

- At the rear of the dwelling.
- At the side of the dwelling, as long as they are more than halfway back from the front of the dwelling. Fan units and furnaces must not be at the dwelling frontage.

16.0 Landscaping

A planning permit is only required for landscaping purposes where a tree is subject to specific controls, such as a Heritage Overlay, or where buildings and works are required, such as the construction of a pergola. The guidelines for Landscaping are included for those that wish to plant in the traditional manner.

The Estate was established with very simple features, primarily lawn and simple uncoloured concrete paths. Planting out (apart from street trees) was essentially a task of the owner. The gardens which were established reflected the simple tastes and sparsity of the interwar period.

Interwar period gardens are encouraged, as are front gardens that do not include built features such as walls and structures.

Guidelines

16.1 Gardens and Structures

A planning permit is not required for gardening. Very few gardens suffer from neglect or poor quality within the Estate. Residents are encouraged to maintain established gardens and trees to complement their homes. The existing well-maintained gardens provide a reasonable standard.

Garden structures such as pergolas do require a planning permit and can be integrated into garden designs, but they should be unobtrusive and should not screen the dwelling. In no case should they be located in front of the dwelling, integrate with the front fence or entry, or be attached to the dwelling.

16.2 Paths

Pathways should be maintained as simple uncoloured concrete tracks for cars.

Paths may also use Castlemaine slate finishes, Crazy paving or paving squares in concrete or Castlemaine slate.

Coloured concrete or bluestone sets should not be used where visible in the public domain.



Figure 24: Driveway and pedestrian pathways as plain uncoloured concrete tracks, causing minimal use of hard pavings.

17.0 Demolition

The Estate is highly intact with no loss of original buildings – while some parts of buildings may have been removed, the dwellings have been substantially retained. The Estate therefore has a high level of integrity and demolition of whole buildings or visible elements of dwellings will severely diminish the significance of the area as a whole.

The Port Phillip Heritage Policy in the Planning Scheme applies to all Heritage Overlay areas in Port Phillip, including the Dunstan Estate (Heritage Overlay area HO2). The Port Phillip Heritage Policy contains heritage objectives and polices in relation to demolition, and applications for demolition of buildings within the Estate must address the relevant provisions of this policy.

Guidelines

- ❑ Demolition of an entire dwelling will generally not be permitted. The rear section of some dwellings may be able to be demolished without affecting the heritage significance of the building, subject to any new addition being sympathetic to the scale and form of the original building and respecting the character of the area.
- ❑ Any decision regarding demolition will be assessed against the provisions of the Port Phillip Planning Scheme, particularly Clause 22.04 Heritage Policy.



18.0 Subdivision, Consolidation and Multi-Unit Development

The repeating rhythm of pairs of attached dwellings is critical to the character of the Estate and additional dwellings which disrupt this rhythm are discouraged.

Additional dwellings will only be considered where the original dwelling is retained and where the new dwelling is at the rear of the site and effectively out of view from the street. Given the angled exposure of most of the properties within the Estate, almost all of the sites are not suitable for multi-unit developments.

Guidelines

18.1 *Subdivision and Multi-Unit Development:*

- ❑ Subdivision and multi-unit development is not encouraged within the boundaries of the Estate. Dual occupancy may be permitted if the criteria of these guidelines are wholly satisfied.
- ❑ “Granny flats”, or dependant persons units, may be permitted provided they do not involve subdivision and conform to the guidelines for alterations and additions.

18.2 *Consolidation*

Consolidation of individual sites into larger lots in order to achieve practicable multi-unit development at the rear of existing dwellings may be appealing, however this will threaten the significant rhythm of the subdivision pattern and site layouts.

- ❑ Consolidation of individual sites into larger areas for multi-unit development or any other purpose is not encouraged.
- ❑ Joining of two dwellings into one may be permitted provided that the criteria of these guidelines are observed.