

# Beacon Cove

## Neighbourhood Character Guidelines



2010

**DRAFT DOCUMENT**

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City of Port Phillip.**

This document is a reference document for  
Amendment C73 to the Port Phillip Planning Scheme.

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## Introduction

The Beacon Cove Neighbourhood Character Guidelines 2010 have been prepared by SJB Urban Pty Ltd, with inputs from SJB Planning Pty Ltd, for the City of Port Phillip. These Guidelines, along with corresponding planning controls, are intended to provide comprehensive guidance and information pertaining to future building and landscape works within Beacon Cove.

Beacon Cove is a residential and commercial area jointly developed by the State Government, represented by Major Projects Victoria and a private developer, Mirvac.

Beacon Cove was developed between 1996 and 2006, under Schedule 1 to the Comprehensive Development Zone of the Port Phillip Planning Scheme. This zone schedule was designed specifically to facilitate the development of Beacon Cove. In addition to the planning controls, Mirvac also placed covenants on titles which further restrict the way land can be used or developed. During that time, the Minister for Planning has been the responsible authority for planning permit applications.

As the development of Beacon Cove is now complete, planning responsibility for Beacon Cove has moved from the State Government to the City of Port Phillip. As part of this process, a number of changes have been made to the planning controls and restrictive covenants that affect Beacon Cove to better reflect the current and future use and development of land.

A planning scheme amendment will implement a suite of planning controls to govern any future development of Beacon Cove, in line with community expectations and replace the covenants previously in place. This Neighbourhood Character Guidelines document will inform the basis and detail of the new controls outlined in the planning scheme amendment.

The Neighbourhood Character Guidelines below provide the detailed information, analysis and guidance to underpin the new planning controls. Part 1 of this document provides an overview of Beacon Cove, and outlines the individual Precincts within the estate. Part 2 provides detailed descriptions, character analysis and neighbourhood character guidelines for each relevant Precinct.



Aerial image of Beacon Cove (boundaries marked by the dashed red line)

Source: Google Earth







# Part 1

## Overview of Beacon Cove

## 1.1 What is Beacon Cove?

Beacon Cove is a master planned residential community, designed to create compatible variation in building forms and a unique living environment. The estate is recognised for its significant mixture of architectural forms which create harmonious streetscapes, as well as key boulevards, views and vistas, and its relationship to the waterfront and piers of Port Melbourne. The consistency of design within the estate creates a unique character which is identifiable as Beacon Cove.

## 1.2 Location

Beacon Cove is located within the suburb of Port Melbourne to the south west of Melbourne CBD. The administrative authority for Beacon Cove is the City of Port Phillip. The estate is situated on a formerly contaminated industrial waterfront site adjoining Station Pier, a key historical gateway to Melbourne, and Princes Pier.

## 1.3 Site Context & Development

The area known as Port Melbourne was first settled in 1839, initially known as Liardet's Beach, and later Sandridge, before finally becoming Port Melbourne in 1884. The area came into prominence during the Victorian gold rush of the 1850s, with an increased number of ships berthing and the first rail link to the city in 1854, making the area a thriving transport hub.

In Port Melbourne's earlier years, the suburb was separated from neighbouring Albert Park by a large shallow lagoon, though this was gradually filled in, with the last of it completed in 1929.

Beacon Cove spans a 30 hectare site, which previously accommodated industrial facilities at Port Melbourne's waterfront, including a sugar refinery, soap and candle works, chemical works, rice and flour mills, gasworks, a distillery and a boot factory. The piers which front the site, Station and Princes Piers, were a major place of arrival to the country for immigrants to Australia prior to the availability of affordable air travel. Station Pier remains an important tourist gateway to Melbourne.

Following the collapse of a commercial canal estate proposal in the early 1990's, the Victorian Government's Major Projects Unit (as owner of the site), re-initiated development for the site with a charrette (Bayside Open Planning Forum) in 1992. This charrette produced design concepts and principles for a walkable, mixed-use, street-based precinct that would be well-integrated with the existing Port Melbourne community and provide a public waterfront. The concepts also included an enhanced terminal for the Tasmanian ferry service (TT-Line), and for redevelopment of the site's heritage features. Based on a tender response that responded well to the charrette outcomes, Mirvac were appointed as a joint venture partner in 1994.

The suburb of Port Melbourne has changed a great deal over the past decade from its predominantly industrial identity, and new demands on the area call for a mature townscape with well designed buildings and public spaces that support the vibrancy of this capital city waterfront.

Port Melbourne's current urban structure results from a succession of planning ideals over a century, including the current street pattern, public open space system and light rail links to Melbourne's CBD. Waterfront piers, Fishermans Bend Industrial area, Bay Street shopping strip and residential areas such as Old Port Melbourne, Garden City, Beacon Cove, and high density residential development adjacent to the foreshore contributes to Port Melbourne's patchwork of local character, economy, and activity (City of Port Phillip 2003).

The completion of Beacon Cove has transformed the former industrial landscape into a new residential and recreational hub of inner Melbourne. It has a pedestrian-friendly street network that celebrates the historic beacons and water views, with the original railway line converted to Melbourne light rail route 109 in 1987 providing direct access to the CBD.

Outlined below is a brief chronology of the development of Beacon Cove:

YEAR	ACTION
1985	Princes Pier decommissioned.
1988	Bayside Project Act passed. Minister for Planning the Responsible Authority for Beacon Cove.
1989	EPA issues a clean up notice to the State Government.
1992	Bayside Open Planning Forum.
1993	Expressions of interest advertised by the State Government to develop the site.
1994	Mirvac named as preferred developer. Precinct plan drawn up by Mirvac.
1995	Construction commences.
2000	Mirvac puts forward proposals for 'Stage 2'.
2001	Beacon Cove Proposal put on public exhibition.
2002	Advisory committee sit to consider submission on Beacon Cove Stage 2.
2006	Construction of Beacon Cove complete.
2010	The City of Port Phillip becomes the responsible authority for part of Beacon Cove.

## 1.4 Planning Context

In 1991, the State Government adopted a set of Bayside Design Principles to guide the development of the Port Melbourne foreshore. These principles encouraged urban integration, ensuring that Beacon Cove, as a whole, would contribute to Port Melbourne's mixed-use village atmosphere in scale and character.

The residential development of Beacon Cove on a former BP site in Beach Street began in 1995, and the area was developed by Mirvac in accordance to the Bayside Concept Plan No 1 and located in the City of Port Phillip's designated Comprehensive Development Zone (CDZ), managed by the State Government. This zone schedule was designed specifically to facilitate the development of Beacon Cove.

The first stage of the development was essentially suburban in type. The second stage, however, replaced the original principles with a different urban typology, that of buildings in space, with individual residential towers along the foreshore. Contrary to the Garden City principles, this type of development places high significance on the importance of private space rather than just the public realm.

In addition to the planning controls, Mirvac also placed covenants on title deeds which further restrict the way land can be used or

developed. To date, the Minister for Planning has been the Responsible Authority for planning permit applications, and Mirvac have managed the restrictive covenants.

Now that the development of Beacon Cove is substantially complete, the responsibility for Beacon Cove is being progressively transferred to the City of Port Phillip. As part of this transfer, changes to the planning controls and restrictive covenants that affect Beacon Cove to better reflect the current and future use and development of land are required. A CDZ is no longer appropriate and planning controls need to be changed to better reflect the way they are applied to other developed parts of the City of Port Phillip.

This document has been prepared to underpin the application of more appropriate planning controls for the residential precincts in Beacon Cove now that development of the estate is substantially complete via Amendment C73 to the Port Phillip Planning Scheme. The amendment to the City of Port Phillip Planning Scheme will vary all of the existing covenants in force at Beacon Cove, to remove any potential for inconsistencies between the new controls and these guidelines which will be used to assess development applications within the estate.

## 1.5 General Principles for Beacon Cove

Beacon Cove is a relatively dense residential precinct (over 30 dwellings per hectare), with a mix of townhouses, home offices and 10-12 storey apartments. The estate layout is based on a scaled-down 'Beaux Arts'-style plan, with most housing arranged around a series of small parks and a hierarchy of axial and circuit streets. The focal point of the estate is centered on a busy mixed use urban square at the head of Station Pier, containing the Beacon Cove Food Store, the Light Rail 109 terminus, waterfront restaurants, gym, medical centre and various other businesses.

Beacon Cove's layout resulted in the realignment Beach Street away from the foreshore, giving the apartments along the waterfront direct access to the promenade. The estate features other palm-lined boulevards and a layout that allows the retention of two operational shipping beacons. The 500m-long waterfront promenade is a highly successful multi-purpose space, with the daily departure of the Spirit of Tasmania ship from Station Pier, a feature of the area.

The development was completed in stages from 1996 to 2006, working west from Princes Street, and this is reflected in the different styles of architecture.

Beacon Cove is bordered by two other distinct localities, namely Garden City and Fishermen's Bend, which link into Beacon Cove from the west and north-west respectively. Garden City started in the 1920s as a planned suburb comprising semi-attached double-storey houses arranged around a series of public open spaces in a distorted Beaux-Arts layout. Fishermen's Bend is primarily an industrial centre, positioned immediately to the east of the West Gate Bridge and originally included the area now known as Garden City, which was renamed in 1929. The character of Beacon Cove is drawn upon from a combination of the building form and character of these two local, historical areas.

## Design Principles & the Masterplan for Beacon Cove

Within the original Port Melbourne Planning Scheme incorporated documentation (October 1994), which outlined development guidelines for Beacon Cove, the following objectives were drafted to achieve a coherent layout of the site:

- protect view corridors to Port Phillip Bay and the waterfront, particularly from the Navigation Beacons, Swallow Street, Princes Street and other north-south streets.
- provide for the extension of Beach Street through to Beacon Road.
- provide a pleasant, manageable and efficient living environment generally in accordance with the principles of the Victorian Codes for Residential Development.
- create links to adjoining sites and neighbourhoods.
- ensure that houses address street frontages and public open space.
- provide public open space which links existing parks and facilities in appropriate locations and includes a linear park along the light rail line.

The foundation of the estate's unique character derives from its mixture of architectural form, its distribution of localised parks and their interfaces between public and private spaces, in addition to its subdivisional layout, which places emphasis on pedestrian connectivity. Special features of the masterplan include:

- residential density and diversity;
- three-storey home/offices mainly along Beach Street;
- apartment towers that successfully interface with a public waterfront promenade;
- a local activity centre;
- the historic Beacons Vista and integration of historic Swallow Street;
- visual and vehicular links with adjacent estates;
- the civic square, waterfront restaurant precinct and restored Station Pier;
- Beacon Cove car courts (that hide garages at the rear); and
- high quality public spaces (public art, parks and new beach).

## Development Principles

The estate comprises five residential precincts, with individual architectural characteristics and sub-precincts, as well as four additional high rise, mixed use and waterfront precincts, as outlined below:

- Residential Precinct A – located to the east of Swallow Street;
- Residential Precinct B – located to the west of Swallow Street and includes the majority of the lots on the inside of The Crescent;
- Residential Precinct C – incorporates the lots along and around Beacon Vista;
- Residential Precinct D – occupies the south-western portion of the estate, north of Beach Street;
- Residential Precinct E – occupies the north-west portion of the estate, adjoining the Garden City Reserve and Beacon Road;
- First Point Waterfront Residential Precinct – to the far south west of beacon Cove;
- High-rise Residential Precinct – along the waterfront, south of Beach Street;
- Mixed-use Precinct – to the east of Beacon Cove, south of Beach Street; and
- Piers – Station Pier and Princes Pier.

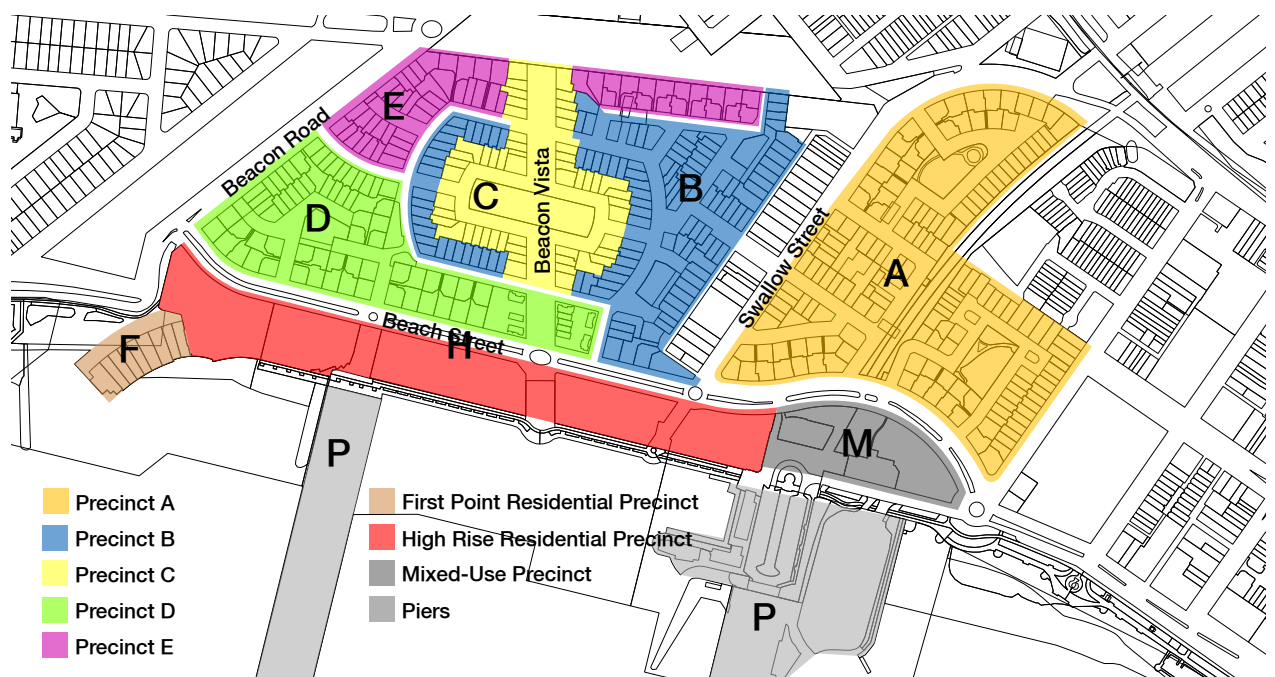


Figure 1: Layout and location of the Precincts



There are common elements in each precinct and sub-precinct which visually link together and support the estate's homogenous streetscapes. Common elements include the scale and proportion of dwellings, horizontal detail to street elevations, darker materials/colours at ground floor level, location and style of front fences and landscaping treatment to private and public realms.

The neighbourhood character of the estate may be defined through three design objectives, summarised as follows:

- i. create a **pedestrian** and bicycle **friendly environment**, minimising impact of garage doors and driveways on the streetscape; and
- ii. contemporary, high quality housing **design** and **finish**, with clearly **defined urban edges** and consistent house setbacks to **optimise space**, **privacy** and maximise **solar access**. Building elements such as balconies and pergolas create **streetscape interest** and variation, in addition to **passive surveillance** of streets and parks.
- iii. create a network of parks and **open space**, incorporating notable **view corridors, contemporary landscaping** and integration with surrounding neighbourhoods through permeable edges. Retaining significant trees and reducing driveway areas/hard paving will maximise gardens and reduce stormwater runoff;

It is important for the estate to maintain these principle features which guided its design and subsequently contribute to the special character of the estate as an entity. As such, there are three overarching principles which should be acknowledged and implemented when maintaining the estate:

- movement and street hierarchy;
- built form; and
- open space.

## Overarching Principle 1: Movement & Street Hierarchy

Key roads within the estate are Beacon Vista Boulevard which runs in a north south direction and Beach Street. These streets have limited direct vehicle access and landscaped median in the centre of the roads. Therefore, typical vehicle access to dwellings fall within one of three categories:

- i. dwellings on main/key roads: access is provided via a local/private road to the rear of the dwellings;
- ii. dwellings off minor roads: access directly of the street frontage; and
- iii. dwellings abutting private open spaces: access off local/private road where the dwelling is orientated to the street.

## Overarching Principle 2: Open Space

There are a number of public open spaces utilised as community hubs within the estate, which are abutted by either a street or directly fronted by dwellings. Where dwellings directly abut the public open spaces they are oriented to these spaces. Vehicle access to these dwellings is typically provided to the rear of the property via a shared driveway arrangement.

Infrastructure and landscape works within Beacon Cove should be respectful of the character of the estate and their contribution to the character of the area. Works within public areas of Beacon Cove should remain consistent with the form, material and layout of original works, as described in the Precinct sections in Part 2. This applies to the treatment of road surfaces, kerbs, footpaths, crossovers and nature strips.

## Overarching Principle 3: Built Form

Key emphasis of Beacon Cove is on the importance of private space and its relationship with streets and public spaces. Therefore, the following criteria regarding setbacks are fundamental to the provision of such delineations throughout the estate:

- setbacks from the streets and public open spaces are typically approximately 3 metres and reduce to approximately 2 metres to the secondary street frontage.
- the setbacks of the dwellings are important for their contribution to the character of the streets within Beacon Cove. In particular, the attached built form creates a more compact streetscape which is in contrast to the more open character of the detached dwellings located on main roads and vistas within the estate. The variations in these streetscapes are important to the mixture of dwelling types in the estate and in establishing the hierarchy of roads within the estate.

Alterations and additions to homes should be designed to minimise their visual impact on existing streetscapes and should respect the character of the Precinct in which the dwelling is located and should be respectful of the architectural characteristics of dwellings within the Precinct.

Buildings should not be demolished unless a replacement building respects the key features and character of the dwellings in that streetscape and where the replacement building will not impact on the existing streetscape. A replacement building should be constructed within 12 months of demolition.



# Part 2

## Character Analysis and Neighbourhood Guidelines

Part 2 investigates the qualities and physical characteristics of each Precinct (excluding Mixed-Use and Piers Precincts), as a basis for Guidelines for future building works or modifications in Beacon Cove. The objectives of these guidelines are:

- to increase community awareness regarding the special qualities and significance of the area;
- to provide a clear and consistent basis for the assessment of planning permit applications;
- to ensure the key characteristics of each precinct within Beacon Cove are protected and enhanced by any future development; and

## Layout of the Guidelines

For each Precinct, the location and extent is described and illustrated in map form and through aerial photography. The Precinct is then described in terms of physical features, with supporting photographs which are cross-referenced, in the following categories:

- general description (key characteristics)
- urban layout
- built form (general)
- external elements
- external finishes
- roof types and materials
- fenestration
- fence treatments
- landscaping
- public space

This information is followed by a descriptive statement of the established character for each Precinct, and the preferred future character. The preferred character for most Precincts is typically to retain the original, established character and the elements which contribute to it.

Based on this, each Precinct chapter incorporates comprehensive Neighbourhood Character Guidelines, categorised accordingly:

- Guideline 1: Building siting, setbacks
- Guideline 2: Building form, height, roof design, roof decks
- Guideline 3: Building style, materials, colours
- Guideline 4: Fences and external elements
- Guideline 5: ESD, Sunlight access
- Guideline 6: Car parking
- Guideline 7: Public realm

These Guidelines incorporate detailed information to inform proposed building works or modifications, to support maintenance of the original character and qualities of Beacon Cove.

Please note that the preferred character statements have not been prepared for the Mixed Use Precinct or Piers Precinct and are subject to further strategic work. However, a description of these precincts is outlined below.

## Mixed Use Precinct

The Mixed-Use Precinct of Beacon Cove is located at the south-east corner of the estate adjacent to Station Pier, and incorporates a small number of commercial and recreational facilities. This Precinct also adjoins the terminus of the light rail line (Route 109).

The Precinct comprises single-storey buildings composed of red face brickwork and rendered masonry, red tiled roofs, and extensive frontage glazing, as appropriate to the commercial uses.

Activities include a general store and café, gymnasium and restaurants, including a café/restaurant in the former train station.



Figure 2: Aerial photograph of the Mixed Use Precinct and surrounds

## Piers Precinct

The Piers Precinct comprises two historic Piers extending south into Port Phillip Bay – Princes Pier to the west and Station Pier to the east.

Princes Pier is currently closed for significant renovation.

Station Pier continues to operate as a shipping terminal, for cruise ships and the Spirit of Tasmania ferry service. It contains shipping facilities (vehicle access, parking, ticketing etc), as well as a number of restaurants within large, 2/3-storey contemporary buildings and outdoor dining areas. These restaurants face west towards the water and High Rise Residential Precinct and promenade.

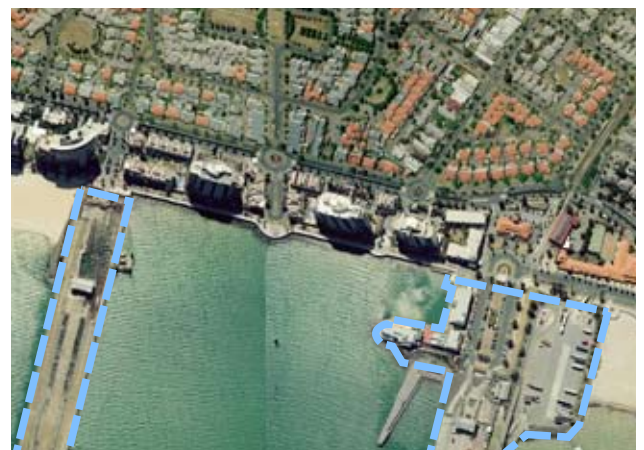


Figure 3: Aerial photograph of the Piers Precinct and surrounds





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Precinct A

## Location

Precinct A is located in the eastern segment of Beacon Cove, immediately north of the Mixed-Use Precinct. It is bounded by Beach Street, Swallow Street and Princes Street, and straddles the Light Rail line.



Figure 4: Aerial photograph of Precinct A

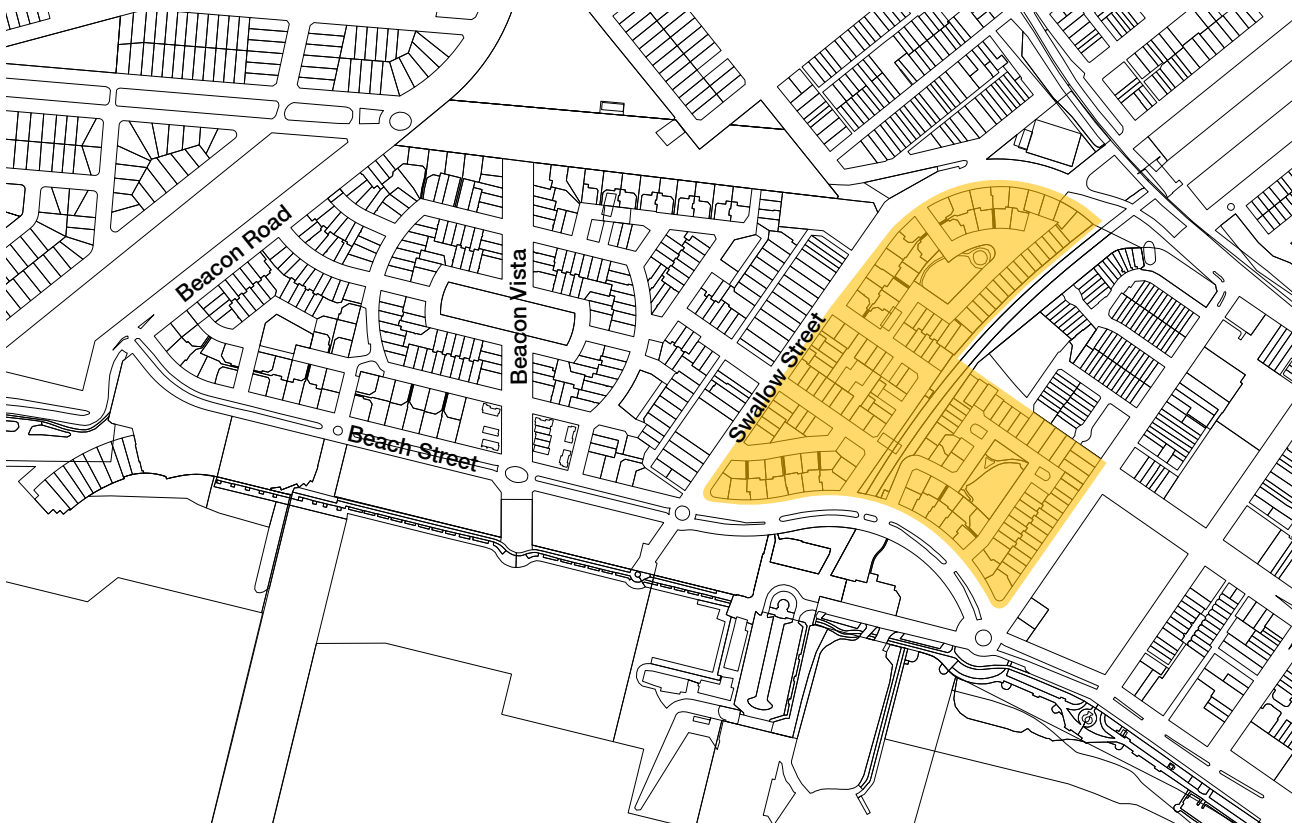


Figure 5: Location and layout of Precinct A

## Physical characteristics

The dwellings in Precinct A are described as having a Tuscan/Georgian architectural style with some Dutch influences.

### Urban layout

- Compact development facing grid-based streets.
- Central open spaces and public realm courtyards with active frontages (Photo 10) (Photo 21).

### Built form (general)

- 2-storey houses, both attached and detached.
- Some single-storey semi-detached (Photo 11).
- Building setbacks of 4-5m approximately from street frontage (Photo 03) (Photo 11) (Photo 14).

### External elements

- Circular columns, white, grey or light blue colour, 'Doric' capital (Photo 01) (Photo 02).
- Timber pergola, painted warm grey colour, tapered beam ends (Photo 01).
- Horizontal protruding banding (two strips): between ground and first floor levels (Photo 03), or at both levels (Photo 04).
- Prominent entrance portico with taller parapet wall. Parapet entrance wall has flat or angled (portico) profile.
- Strategically located, taller corner elements – square towers with roof eaves (Photo 04), octagonal tower without eaves (Photo 05).
- Transparent steel balustrades to upper level 'Juliet' balconies (Photo 07).
- Timber sunshades to some upper level windows, roof-tiled surface with timber support struts (Photo 06).
- Parapet front walls with angled top profile (Photo 11).
- Parapet half-height upper level balcony balustrades (extension of ground floor wall) with stainless steel rail/cable upper balustrade (Photo 09).

### External finishes

- Rendered masonry to ground and upper levels.
- Low height 'dado' wall with stone-like banded articulation.
- Profiled panel garage doors (Photo 01).
- Red brick (stretcher bond) cladding, typically to ground floor level and some upper levels (Photo 13).

- Dutch gable and tile window awnings are common.
- Lighter colours are generally used on the upper floors and garage doors.

### Roof types and materials

- Burnt orange colour terra cotta tiles (rounded profile) – no eaves.
- Warm-grey colour slate-like tiles (flat profile) (Photo 15).
- Burnt orange colour terra cotta tiles (flat profile) – with eaves.
- Pitched roof forms finished in either grey or red concrete tiles.

### Fenestration

- Rendered protruding window architraves in grey colour (Photo 09).
- Circular 'porthole' feature windows (Photo 08).
- Corbelled upped reveal to entrances, garage doors and some windows (Photo 12), (Photo 03).
- Metal window frames – white, warm grey and light blue/grey colours (Photo 03) (Photo 06) (Photo 14).

### Fence treatments

- Low-height red-brick fences, with rendered raised piers and top slab along fences.

### Landscaping

- Variety of low-height shrubs, spiky plants, creeping vines and small trees to front gardens (Photo 14) (Photo 19).
- Some fruit trees to front gardens (Photo 03).
- Low-height hedges to front gardens, including along garage walls (Photo 01) (Photo 04).
- Rose bushes to front gardens (Photo 16) (Photo 07).

### Public space

- Articulated footpaths (Photo 18).
- Narrow nature strips.
- Grassed park faced by streets and houses (Australis Circuit) (Photo 10).
- Mature trees, native and exotic species. Native species particularly in parks (Photo 20).
- Paved seating areas in private body corporate areas (Photo 21) (Morley Mews).
- Seating areas with park benches in public realm (Photo 17).



Photo 01



Photo 02



Photo 03



Photo 04



Photo 05



Photo 06



Photo 07



Photo 08



Photo 09



Photo 10



Photo 11



Photo 12



Photo 13



Photo 14



Photo 15



Photo 16



Photo 17



Photo 18



Photo 19



Photo 20



Photo 21

## Local Neighbourhood Character

The physical characteristics described above contribute to the definition of the local character within Precinct A. This character comprises compact residential development of single- and double-storey, attached and semi-detached houses, facing grid-based streets and central public open spaces.

Streets and open spaces incorporate large lawn areas, mature trees, low-height plants and native grasses.

Residential buildings comprise a diverse palette of materials and finishes, including rendered surfaces and exposed brickwork, tiled roofs, and external elements such as pergolas, tower elements and feature roof and building forms.

Houses have landscaped setback areas from street frontages, of limited depth, for an intimate relationship between houses and the public realm. Consistency of landscape treatments, letterbox and fence designs, and building design elements, contribute to a cohesive character in Precinct A, which is also integrated with the wider Beacon Cove estate.



# Neighbourhood Character Guidelines

## Guideline 1:

### Building siting, setbacks

#### Building siting

- 1.1 Residential buildings should be oriented towards the main street frontage, with clearly visible entrance and large front windows.
- 1.2 Building frontages should be aligned in parallel with the street frontage (Photo 03) (Photo 06)

#### Front and side setbacks

- 1.3 Front setbacks to Swallow Street should be approximately 6-9m.
- 1.4 Residential buildings facing streets within Precinct A should maintain front setbacks of 3-5m approximately from the street frontage or footpath, in accordance with the prevailing pattern of development.
- 1.5 New building works should not extend beyond existing front setbacks.
- 1.6 Buildings should incorporate varied setbacks to the street frontage, to contribute to a diverse, layered streetscape (Photo 02) (Photo 11).
- 1.7 Side setbacks should be minimised, ranging from 0m (attached houses) to approx 2m, to support continuous streetscape frontages and compact development patterns.
- 1.8 Upper levels may be set back above the garage to create a first level parapet balcony. Setback depth for upper levels is approximately 1-1.5m back from the first level (Photo 03).
- 1.9 Upper level setbacks may incorporate pitched roof elements over the ground floor area (Photo 15).
- 1.10 When facing streets or parks, only single storey additions are allowed.
- 1.11 Two storey additions should be confined to the rear of properties so as to have limited visibility from streets or parks.

#### Landscaping

- 1.12 Landscaping should include plants, trees and surface treatments which are drought-resilient, and the provision for home grown produce is encouraged.
- 1.13 Ground surfaces should be permeable where possible to minimise stormwater run-off.

## Guideline 2:

### Building form, height, roof design, roof decks

#### Building form

- 2.1 Buildings should be rectilinear in plan with vertical walls in solid materials with punched windows.
- 2.2 A range of wall details and treatments, consistent with those of the Precinct may be applied (please refer to physical characteristics), including parapet entrance walls, varied setbacks (front, side and upper levels – see above), taller corner forms, and shallow roof overhangs.

#### Building height

- 2.3 Buildings are one or two storeys in height (Photo 09) (Photo 11) and the overall height of a building should not be increased to remain consistent with those in the Precinct (please refer to physical characteristics).
- 2.4 Some buildings incorporate taller elements, such as tower forms (on street corners and entry points) (Photo 05), an increase in the height of that building or a building on an adjoining allotment should not impact on the visibility of the tower or its role as an element within that streetscape (please refer to built form characteristics of the Precinct).



Figure 6: Plan indicating roof materials in Precinct A

**Roof design**

- 2.5 Residential buildings should have pitched roofs, in hip or gable form with roof tile cladding and in keeping with existing forms (Photo 12) (Photo 16).
- 2.6 If part of the roof of a building is to be removed or demolished to allow for a replacement structure, then the replacement roof should be designed to match the style and colour of the existing or remaining roof.
- 2.7 The presence of roof eaves or overhangs is varied in Precinct A and design should respond to existing characteristics.
- 2.8 Roof eaves are measured horizontally from the wall under the eaves to the fascia. Where roof eaves need to be cut back to zero such as along boundary walls, the transition point should be well detailed to avoid an unsightly or uncharacteristic design result.
- 2.9 Roofs may incorporate skylights. They should not be visible from the streets or parks.
- 2.10 All gutters and downpipe profiles or treatments should match existing.
- 2.11 Roof materials may include roof tiles in red terracotta colour, or grey slate colour (Figure 04), consistent with the characteristics of the Precinct, please refer to Figure 06.

**Roof decks**

- 2.12 Residential buildings in Precinct A have pitched roofs, and roof decks are not present or not visible. New roof decks should not be visible from the street or public realm areas, to face the rear of the property.

### **Guideline 3: Building style, materials and colours**

**Building style**

- 3.1 The architectural style for Precinct A comprises wide rendered bands emphasising the horizontal, introduction of corner towers, and Dutch gables and tiled window awnings (Source: Beacon Cove Neighbourhood Character Plan 2004).
- 3.2 The architectural style of an addition should exactly match the existing dwelling so as not to appear as an add-on.

**Materials: external walls**

- 3.3 External walls may be in the following materials:
- red brickwork, stretcher bond – mainly at ground floor, but sometimes at upper levels.
  - rendered masonry (see colours above) – ground and upper levels, May be articulated with horizontal banding in the same colour.
- 3.4 Residential buildings should incorporate a range of 2-3 external materials and/or colours in a configuration that is in keeping with other Precinct A buildings.

**Finishing colours**

- 3.5 Paint colours for Precinct A should match the existing colours on adjacent properties within the Precinct. The predominant colour should be a light shade, with trim colours in a darker shade. Please refer to the exhaustive list of paint colours listed in Appendix A.
- 3.6 Rendered surfaces and all external timber fixtures must be consistent with the colour schemes of the surrounding streetscape and not be painted or finished in a colour other than those specified within the group of colours by Bristol (or equivalent / similar colours) in Appendix A.
- 3.7 Metal balustrading, fascia boards and guttering must not be painted or otherwise finished in a colour or colours other than those within the group of colours as specified by Bristol or equivalent or similar colours to those listed in Appendix A.

## Guideline 4:

### Fences and external elements

- 4.1 The location and styling of front fences and letter boxes is integral to the character of streetscapes within Beacon Cove.

#### Fencing

- 4.2 Front fences should not be erected unless the streetscape already contains front fences.
- 4.3 Fencing fronting any street shall either be brick or timber construction.
- 4.4 Where fencing is of timber construction, it shall:
- be constructed of horizontal timber with merbau stain, 12 mm in width x 75 mm high at 85 mm centres;
  - have concealed fixings to timber fence frames;
  - have splayed timber cappings;
  - be finished in natural timber finish throughout; and
  - be 1800 mm above adjoining house floor levels.
- 4.5 Where fencing is of brick construction it shall:
- be a 230 mm face brick wall with 110 mm thick rendered capping having an overall height 600 mm above ground level;
  - incorporate rendered brick piers with 110 mm rendered cappings having an overall height of 1,000 mm above ground level and located at nominal 3.6 metre centres;
  - have feature corner piers to a height of 1, 200 mm above ground level; and
  - Have entrance letter boxes and street numbers incorporated into the masonry pier have design when adjacent to house entries.

(All measurements are approximations and variations of 5% to those measurements are within the specifications).

- 4.6 Building brickwork must be rendered using a cement render or such acrylic renders known as “Mac Render” or similar renders.

#### Letterboxes

- 4.7 New letterboxes should match existing letterboxes in the surrounding streets both in design and finish.
- 4.8 Letterboxes should be installed in low-height rendered masonry piers with stone/rendered capping, facing the street or access point (Photo 03) (Photo 07).
- 4.9 Letterboxes should be located as close as possible to the footpath for ease of access for deliveries, while maintaining safe vehicle driveway access and other requirements.

#### External building elements

- 4.10 Alterations and additions to dwellings should maintain the use of strong architectural elements such as a well designed entry porch, front pergola or balcony facing the street and the use of horizontal banding.
- 4.11 Residential buildings may incorporate a range of external elements, including:
- circular cross-section ‘classical/Doric’ columns to entrance or balcony roof overhangs, single or in pairs (Photo 01) (Photo 16);
  - stainless steel rails above rendered masonry half-balustrades (Photo 09); and
  - angled overhang to windows with timber support struts (Photo 06).
- 4.12 Balcony balustrades are painted steel for ‘Juliet’ balconies (Photo 03) (Photo 07), or rendered masonry for full balconies (three quarter height-balustrade with metal rails above) (Photo 01) (Photo 06).
- 4.13 Timber pergolas may be provided to ground floor entrance or courtyard areas, comprising widely spaced beams with tapered end profiles and timber or masonry/stone posts (Photo 01) (Photo 18).

### Ancillary Structures

- 4.14 Any proposed garden sheds, swimming pools, children's cubby houses, aviaries or the like must not be visible from streets or parks or be obtrusive to adjoining or nearby allotments unreasonably.
- 4.15 All services are to be discreetly located so as not to be visible from streets and parks or where possible, adjoining or nearby allotments. This includes television aerials, satellite dishes, heaters, side exit fireplace flues, evaporative coolers, reverse cycle air conditioners and pool equipment.
- 4.16 Services that improve the environmental performance of the building should be discreetly located so as not to be visible from streets and parks unless there is no other reasonable alternative location available. This includes clothes lines, water tanks, solar hot water systems and photovoltaic panels.
- 4.17 Air conditioner units and pool equipment must be located to avoid noise transfer to adjoining allotments and not transmit more than 45dBA measured at the adjoining property boundary.

### Guideline 5: ESD and Sunlight access

- 5.1 Building orientation, window design and external shading elements should be designed to optimise natural light access and solar control, within the stylistic limitations of the Precinct design character.
- 5.2 Materials, openings, insulation and other building elements should meet or exceed building code requirements for energy and water efficiency.
- 5.3 Awnings, shutters and the like should not be installed when visible from streets or parks. Landscaping is a preferred means of screening western sun or where not possible, the use of non-obscure window film that is not overly reflective or tinted may be used.

## **Guideline 6: Car parking and garages**

- 6.1 A single garage space per dwelling (Photo 11) (Photo 18), facing the street and driveway, or two separate garages for larger dwellings should be provided (Photo 08).
- 6.2 The existing number of concealed car spaces provided on an allotment should not be reduced.
- 6.3 A vehicular crossover should not be altered or constructed. This includes situations where homes share a driveway and crossover with adjacent homes in a 'grouped' arrangement. In these situations the shared driveway or crossover cannot be relocated or removed.
- 6.4 Where allowed, driveway widths should be limited to approximately 5.5m for double and 3.0m for single driveways.
- 6.5 Street facing garage doors should match existing garage doors and be finished in colours complementary to the existing neighbourhood character.
- 6.6 Where additional non-visitor vehicle accommodation is required such as for the storage of boats, caravans, or the like, this area must not be visible from the street or parks. In order to minimise driveway widths it is suggested tandem parking be utilised to provide additional accommodation without the need for extra garage doors.
- 6.7 Carports and garages must not project forward of the main frontage of the house.

## **Guideline 7: Public realm**

### **Layout**

- 7.1 Public open spaces and central public courtyards shall be retained (Figure 3).
- 7.2 The existing grid-based, permeable street layout should be retained.
- 7.3 Ensure that dwellings provide an active frontage and clear entrance to the street frontage and/or public open space.
- 7.4 Ensure that active residential frontages facing the light rail station and environs are maintained.

### **Materials and landscaping**

- 7.5 Open space lawn areas should be maintained and enhanced where possible. Alternative surfaces to lawn which are more drought-resistant may be considered.
- 7.6 Any new work or repairs should match original features, as identified within the physical characteristics of each precinct.
- 7.7 Public realm landscaping should encourage plants, trees and surface treatments which are drought-resilient and are respectful of existing species. The location of such landscaping should complement the neighbourhood character of the precinct.
- 7.8 Ground surfaces should be permeable where possible to increase site infiltration and minimise stormwater run-off. Sub-surface drainage should be provided to additionally remove stormwater run-off.
- 7.9 Public/communal outdoor seating areas should be retained, enhanced and expanded where possible, to encourage use of outdoor spaces. Provide shade trees or structures to seating areas where possible.

- 7.10 Footpaths should be maintained and repaired when necessary. The existing footpath concrete type should apply to all new and repaired footpaths (Photo18).
- 7.11 Existing mature trees should be retained where possible. Increased tree planting in the public realm, of species in keeping with existing trees is encouraged.
- 7.12 In keeping with relevant legislation, water conservation around landscape areas is encouraged.

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# Precinct **B**





## Location

Precinct B is located centrally in Beacon Cove, incorporating dwellings facing the Crescent, and the area between The Crescent and Swallow Street (excluding pre-existing houses along the west side of Swallow Street).



Figure 7: Aerial photograph of Precinct B

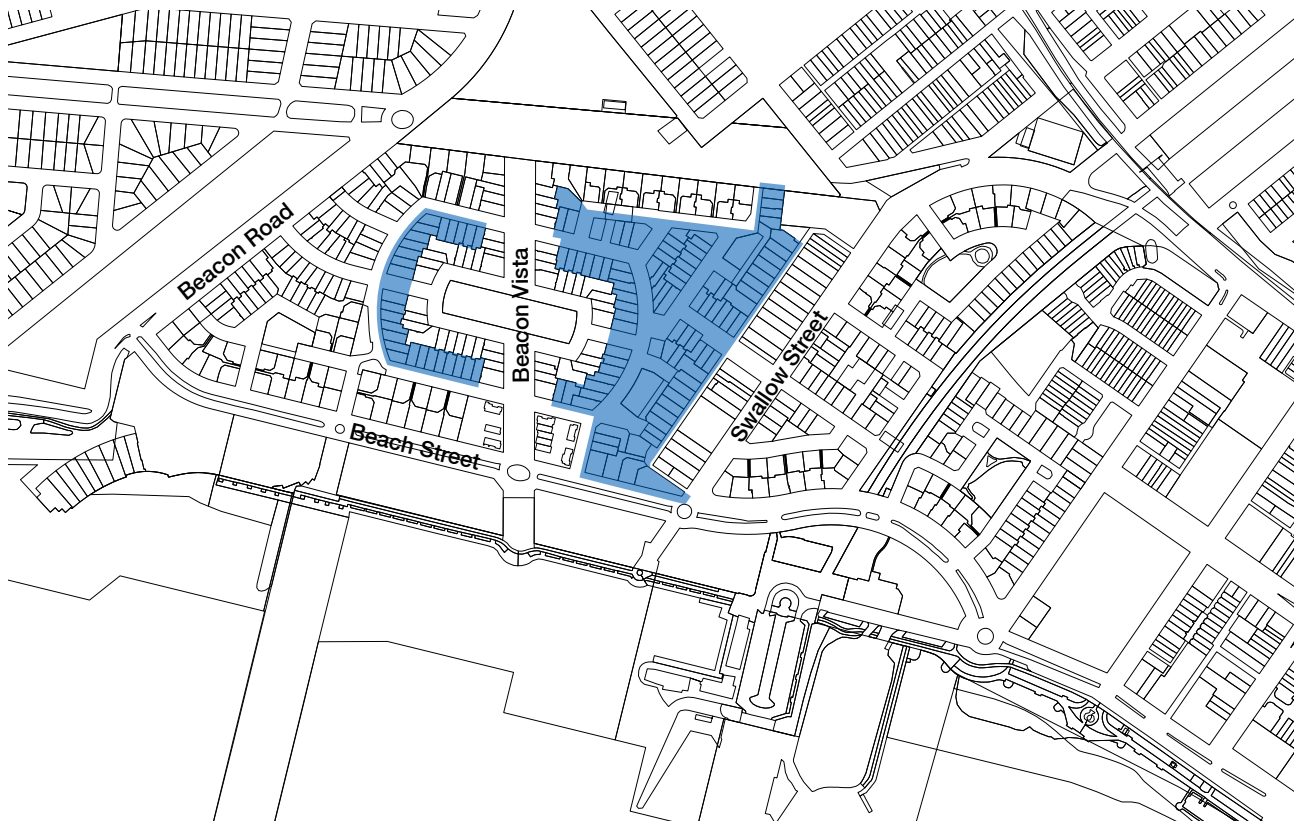


Figure 8: Location and layout of Precinct B

## Physical characteristics

The dwellings in Precinct B are described as having a contemporary architectural style with some Prairie style influences on some corner towers.

### Urban layout

- Rear laneways with garage access at interface to external dwellings (outside Beacon Cove) (Photo 22) (Photo 24).
- Staggered frontages facing curved alignment of The Crescent (Photo 26).

### Built form

- Typically 2-storey attached houses (Photo 28) and detached houses (Photo 23).
- Small building setbacks, 2-3m approximately.

### External elements

- Steel external balconies with horizontal rail balustrades.
- Steel (I-beam) external frames over windows for balconies (Photo 25) (Photo 27).
- Taller corner forms with tapered eaves (Photo 33).
- Red brick chimneys (Photo 26).
- Rendered masonry chimneys (Photo 29).
- Circular columns, white, grey or light blue colour, 'Doric' capital, single or pairs (Photo 30).
- Entrance canopies with tapered eave (Photo 32) (Photo 30).

### External finishes

- Lightweight weatherboard cladding to upper levels, white/cream colour (Photo 32).
- Rendered masonry to ground floor and some upper level walls.
- Rendered masonry colours – charcoal grey, lighter brown colour (Photo 34), dark green (Photo 36).
- Red brick (stretcher bond) cladding, typically to ground floor level and some upper levels (Photo 36).
- Dutch gables and tiled window awnings are common.
- Introduction of steel on balcony structures and balustrades details.
- Lighter colours are used on the upper floors and garage doors create a horizontal band to the streetscape.

### Roof types and materials

- Roof forms vary between pitched roof forms which are typical to all Precincts but also incorporate some flat roof forms both to the main body of the building and some towers.
- Some parapet roofs (flat) (Photo 31).
- Some roofs without eaves (Photo 31).
- Burnt orange colour terra cotta tiles (rounded profile) – no eaves.
- Burnt orange colour terra cotta tiles (flat profile) – no eaves (Photo 29).
- Tapered eaves at taller corner elements (Photo 33) (Photo 35).
- Warm-grey colour slate-like tiles, (flat profile) (Photo 37).

### Fenestration

- Multiple small square feature windows (vertical) (Photo 32) (Photo 30).
- White frame windows with vertical orientation panes.
- Grey metal frame windows (Photo 32).
- Internal timber window shutters (louvred, white) (Photo 38).

### Fence treatments

- Typically no front fence (Photo 32), rendered masonry letterbox, some front hedges (low height) (Photo 31).

### Landscaping

- Variety of low-height shrubs, spiky plants, creeping vines and small trees to front gardens (Photo 34) (Photo 40).
- Some fruit trees to front gardens (Photo 03).
- Low-height hedges to front gardens, including along garage walls (Photo 31).
- Rose bushes to front gardens (Photo 31) (Photo 25).

### Public space

- Green curved steel streetlight poles (also for street signs) (Photo 38).
- Stone-paved seating area in park with pergola structure (Photo 41).
- Mature eucalypt trees in streetscapes (Photo 30).
- Public realm – native grasses (Photo 27) (Photo 39).



Photo 22



Photo 23



Photo 24



Photo 25



Photo 26



Photo 27



Photo 28



Photo 29



Photo 30



Photo 31



Photo 32



Photo 33



Photo 34



Photo 35



Photo 36



Photo 37



Photo 38



Photo 39



Photo 40



Photo 41

## Local Neighbourhood Character

The physical characteristics described above contribute to the definition of the local character within Precinct B. This character comprises compact residential development of predominantly two-storey attached and detached houses, facing grid-based streets and the arc of The Crescent.

Residential buildings comprise a diverse palette of materials and finishes, including rendered surfaces, exposed brickwork and weatherboard cladding, tiled roofs, and external elements such as tower elements and feature roof and building forms, and external steel framework structures to balconies.

Houses have landscaped setback areas from street frontages, of limited depth, for an intimate relationship between houses and the public realm. Consistency of landscape treatments, letterbox and fence designs, and building design elements, contribute to a cohesive character in Precinct B, which is also integrated with the wider Beacon Cove estate. Houses facing The Crescent typically have staggered facades facing the curved street alignment.

# Neighbourhood Character Guidelines

## Guideline 1: Building siting, setbacks

### Building siting

- 1.1 Residential buildings should be oriented towards the main street frontage, with clearly visible entrance and large front windows (Photo 23) (Photo 30).
- 1.2 Building frontages should be aligned in parallel with the street frontage, with the exception of The Crescent where they should be staggered (Photo 26).
- 1.3 Buildings should maintain continuous built frontages to streets (Photo 28) (Photo 30).

### Front and side setbacks

- 1.4 Residential buildings facing streets within Precinct B should maintain front setbacks of 2-5m approx. from the street frontage or footpath, in accordance with the prevailing pattern of development (Photo 29) (Photo 30).
- 1.5 When facing streets or parks, only single storey additions are allowed. Two storey additions should be confined to the rear of properties so as to have limited visibility from streets or parks.
- 1.6 New building works should not extend beyond existing front setbacks.
- 1.7 Side setbacks should be minimised, and are 0m (attached houses), to support continuous streetscape frontages and compact development patterns (Photo 30) (Photo 34).
- 1.8 Buildings should incorporate varied setbacks to the street frontage, to contribute to a diverse, layered streetscape (Photo 34) (Photo 36).
- 1.9 Upper levels should be set back above garage to create parapet balcony. Setback depth is for upper levels approximately 1m-1.5m (Photo 26).

### Landscaping

- 1.10 Landscaping should include plants, trees and surface treatments which are drought-resilient and in keeping with existing character.
- 1.11 Ground surfaces should be permeable where possible to minimise stormwater run-off.

## **Guideline 2: Building form, height, roof design, roof decks**

### **Building form**

- 2.1 Buildings should be rectilinear in plan with vertical walls in solid materials with punched windows.
- 2.2 A range of wall details and treatments may be applied, including parapet entrance walls, varied setbacks (front, side and upper levels – see above), taller corner forms, and shallow roof overhangs.

### **Building height**

- 2.3 Buildings are predominantly two-storeys in height and the overall height of a building should not be increased.
- 2.4 Buildings on street corners incorporate taller elements, such as corner tower forms (Photo 35) (Photo 38), an increase in the height of that building or a building on an adjoining allotment should not impact on the visibility of the tower or its role as an element within that streetscape.

### **Roof design**

- 2.5 Residential buildings should have pitched, hip roofs with roof tile cladding (Photo 23) (Photo 29), or flat roof areas (Photo 32) (Photo 34).
- 2.6 If part of the roof of a building is to be removed or demolished to allow for a replacement structure, then the replacement roof should be designed to match the style and colour of the existing or remaining roof.
- 2.7 The presence of roof eaves or overhangs is varied in Precinct B. Roof design should respond to existing characteristics.
- 2.8 Roof eaves are measured horizontally from the wall under the eaves to the fascia. Where roof eaves need to be cut back to zero such as along boundary walls, the transition point should be well detailed to avoid an unsightly or uncharacteristic design result.
- 2.9 Roofs may incorporate skylights. They should not be visible from the streets or parks.

- 2.10 All gutters and downpipe profiles or treatments should match existing.

- 2.11 Roof materials may include roof tiles in red terracotta colour, or grey slate colour (Figure 06 – aerial photograph), consistent with the characteristics of the Precinct.

### **Roof decks**

- 2.12 Residential buildings in Precinct B have pitched roofs with some flat roofs, and roof decks are generally not present and should not be visible from the streets or park.



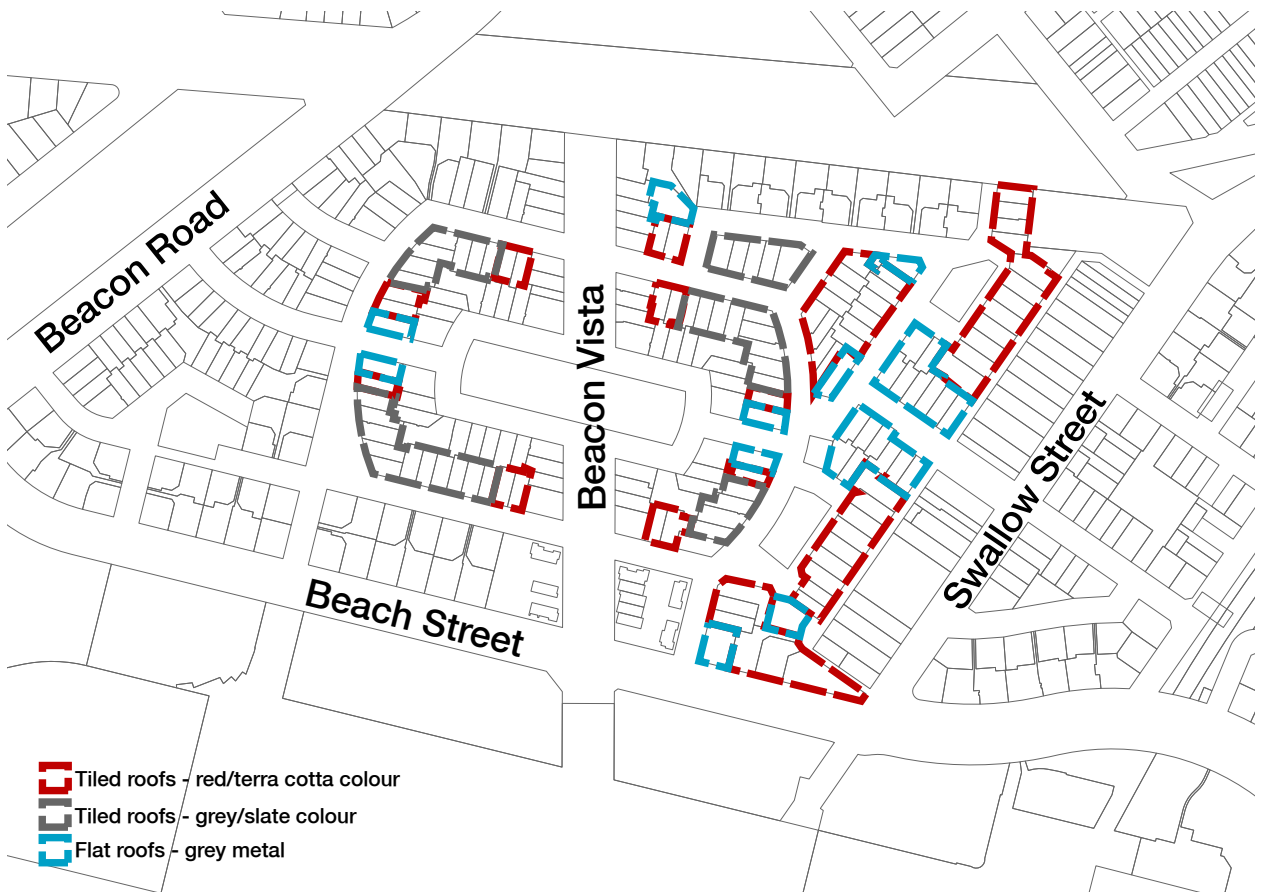


Figure 9: Plan indicating roof materials in Precinct B

### **Guideline 3: Building style, materials, colours**

#### **Building style**

- 3.1 The architectural style for Precinct B is defined as Contemporary with some Prairie Style influences. This comprises recessed first floors forming a strong horizontal band in the streetscape, the introduction of flat roof forms, towers on corners and main view corridors, and Dutch gables and tiled window awnings.
- 3.2 The architectural style of an addition should exactly match the existing dwelling so as not to appear as an add-on.

#### **Materials: external walls**

- 3.3 External walls may be in the following materials:
- red brickwork, stretcher bond – typically at ground floor, but sometimes at upper levels.
  - rendered masonry (see colours above) – ground and upper levels, May be articulated with horizontal banding in the same colour.
  - weatherboard cladding to upper levels.
- 3.4 Residential buildings should incorporate a range of 2-3 external materials and/or colours in a configuration that is in keeping with other Precinct B buildings.

#### **Finishing colours**

- 3.5 Paint colours for Precinct B should match the existing colours on adjacent properties within the Precinct. The predominant colour should be a light shade, with trim colours in a darker shade. Please refer to the list of paint colours listed in Appendix A.
- 3.6 Precinct B introduces strong contrasting colour themes, with the ordered use of grey and red roof tiles, in accordance with the roof tile plan, Figure 09.
- 3.7 Generally lighter colours should be applied to upper floors and garage doors.

- 3.8 Rendered surfaces and all external timber fixtures must be consistent with the colour schemes of the surrounding streetscape and not be painted or finished in a colour of colours other than in those within the group of colours as specified by Bristol or equivalent or similar colours to those listed in Appendix A.
- 3.9 Metal balustrading, fascia boards and guttering must not be painted or otherwise finished in a colour or colours other than those within the group of colours as specified by Bristol or equivalent or similar colours to those listed in Appendix A.

## Guideline 4: Fences and external elements

- 4.1 The location and styling of front fences and letter boxes is integral to the character of streetscapes within Beacon Cove.

### Fencing

- 4.2 Front fences should not be erected unless the streetscape already contains front fences.
- 4.3 Fencing fronting any street shall either be brick or timber construction. Where fencing is of timber construction, it shall:
- be constructed of horizontal timber with merbau stain, 12 mm in width x 75 mm high at 85 mm centres;
  - have concealed fixings to timber fence frames;
  - have splayed timber cappings;
  - be finished in natural timber finish throughout; and
  - be 1800 mm above adjoining house floor levels.
- 4.4 Where fencing is of brick construction it shall:
- be a 230 mm face brick wall with 110 mm thick rendered capping having an overall height 600 mm above ground level;
  - incorporate rendered brick piers with 110 mm rendered cappings having an overall height of 1,000 mm above ground level and located at nominal 3.6 metre centres;
  - have feature corner piers to a height of 1,200 mm above ground level; and
  - have entrance letter boxes and street numbers incorporated into the masonry pier have design when adjacent to house entries.

(All measurements above are approximations and variations of 5% to those measurements are within the specifications).

- 4.5 Building brickwork must be rendered using a cement render or such acrylic renders known as “Mac Render” or similar renders.
- 4.6 Front fences may also incorporate low-height hedges (Photo 31).

### Letterboxes

- 4.7 New letterboxes should match existing letterboxes in the surrounding streets both in design and finish.
- 4.8 Letterboxes should be installed in low-height rendered masonry piers with stone/rendered capping, facing the street or access point (Photo 23) (Photo 31).
- 4.9 Letterboxes should be located as close as possible to the footpath for ease of access for deliveries, while maintaining safe vehicle driveway access and other requirements.

### External building elements

- 4.10 Alterations and additions to dwellings should maintain the use of strong architectural elements such as a well designed entry porch, front pergola or balcony facing the street and the use of horizontal banding.
- 4.11 Residential buildings may incorporate a range of external elements, including:
- circular cross-section ‘classical/Doric’ columns to entrance or balcony roof overhangs, single or in pairs (Photo 26).
  - stainless steel rails above rendered masonry half-balustrades (Photo 26).
  - brick or rendered chimneys (Photo 26).
  - external steel framework structures to balconies (Photo 36).
  - balcony balustrades are mainly painted steel horizontal rails (Photo 31) (Photo 36).

### Ancillary Structures

- 4.12 Any proposed garden sheds, swimming pools, children’s cubby houses, aviaries or the like must not be visible from streets or parks or be overly obtrusive to adjacent allotments.
- 4.13 All services are to be discreetly located so as not to be visible from streets and parks or where possible, adjoining or nearby allotments. This includes television aerials, satellite dishes, heaters, side exit fireplace flues, evaporative coolers, reverse cycle air conditioners and pool equipment.

**Guideline 5:  
ESD, Sunlight access**

- 4.14 Services that improve the environmental performance of the building should be discreetly located so as not to be visible from streets and parks unless there is no other reasonable alternative location available. This includes clothes lines, water tanks, solar hot water systems and photovoltaic panels.
- 4.15 Air conditioner units and pool equipment must be located to avoid noise transfer to adjoining allotments and not transmit more than 45dBA measured at the adjoining or nearby property boundary.
- 5.1 Building orientation, window design and external shading elements should be designed to optimise natural light access and solar control, within the stylistic limitations of the Precinct design character.
- 5.2 Materials, openings, insulation and other building elements should meet or exceed building code requirements for energy and water efficiency.
- 5.3 Awnings, shutters and the like should not be installed when visible from streets or parks. Landscaping is a preferred means of screening western sun or where not possible, the use of non-obscure window film that is not overly reflective or tinted may be used.

## Guideline 6: Car parking

- 6.1 A single garage space per dwelling should be provided (Photo 28).
- 6.2 The existing number of concealed car spaces provided on an allotment should not be reduced.
- 6.3 A vehicular crossover should not be altered or constructed. This includes situations where homes share a driveway and crossover with adjacent homes in a 'grouped' arrangement. In these situations the shared driveway or crossover cannot be relocated or removed.
- 6.4 Where allowed, driveway widths should be limited to approximately 5.5m for double and 3.0m for single driveways.
- 6.5 Street facing garage doors should match existing garage doors and be finished in colours complementary to the existing neighbourhood character.
- 6.6 Where additional non-visitor vehicle accommodation is required such as for the storage of boats, caravans, or the like, this area must not be visible from the street or parks. In order to minimise driveway widths it is suggested tandem parking be utilised to provide additional accommodation without the need for extra garage doors.
- 6.7 Carports and garages must not project forward of the main frontage of the house.

## Guideline 7: Public realm

### Layout

- 7.1 The existing grid-based, permeable street layout should be retained.
- 7.2 Dwellings should provide an active frontage and clear entrance to the street frontage and/or public open space.

### Materials, landscaping

- 7.3 Public realm landscaping should encourage plants, trees and surface treatments which are drought-resilient.
- 7.4 Any new work or repairs should match original features, as identified within the physical characteristics of each precinct.
- 7.5 Public realm landscaping should encourage plants, trees and surface treatments which are drought-resilient and are respectful of existing species. The location of such landscaping should complement the neighbourhood character of the precinct.
- 7.6 Ground surfaces should be permeable where possible to increase site infiltration and minimise stormwater run-off. Sub-surface drainage should be provided to additionally remove stormwater run-off.
- 7.7 Footpaths should be maintained and repaired when necessary. The existing footpath concrete type should apply to all new and repaired footpaths (Photo 27).
- 7.8 Existing mature trees should be retained where possible. Increased tree planting in the public realm, of species in keeping with existing trees is encouraged.
- 7.9 In keeping with relevant legislation, water conservation around landscape areas is encouraged.

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# Precinct C



## Location

Precinct C is located centrally in Beacon Cove and focuses on the axis of Beacon Vista and the central public open space.

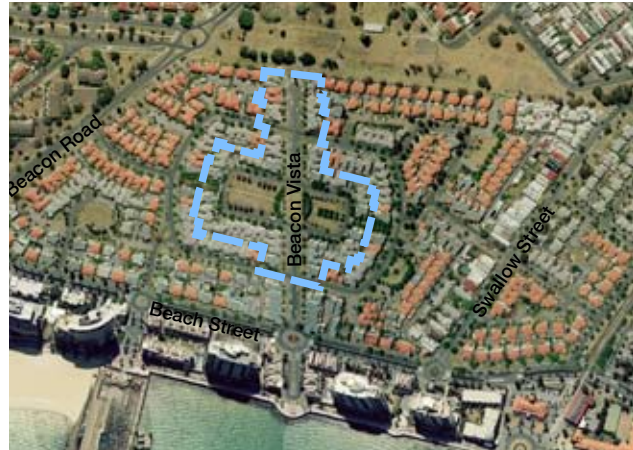


Figure 10: Aerial photograph of Precinct C

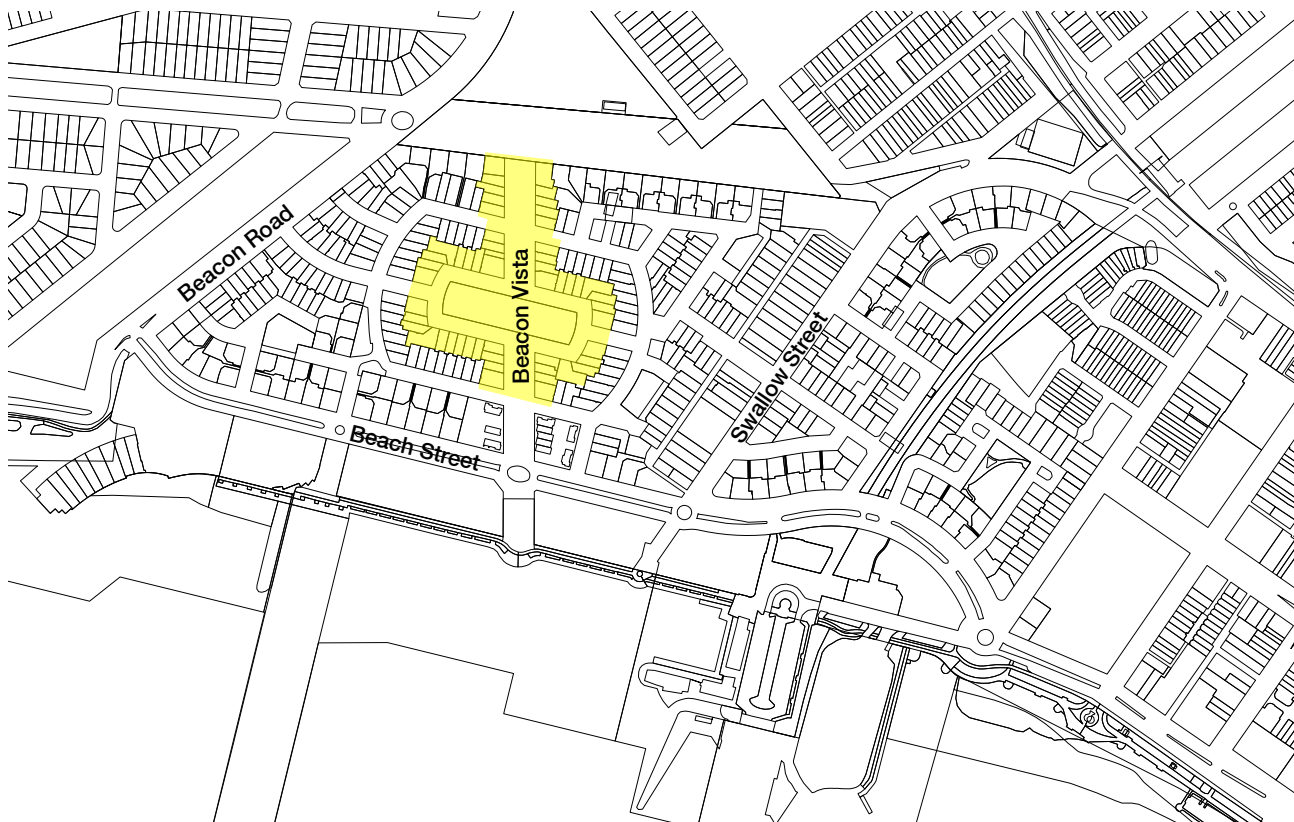


Figure 11: Location and layout of Precinct C

## Physical characteristics

The dwellings in Precinct C are described as having English Regency influences.

### Urban layout

- Focus on Beacon Vista axis (north-south alignment with historic lighthouses) (Photo 42) and central open space.

### Built form

- Consists of 2-storey attached houses (Photo 44) and detached houses (Photo 46)
- Larger setbacks along Beacon Vista axis (7-8m approximately.) (Photo 42)

### External elements

- Steel (I-beam) external frames over windows for balconies (Photo 43).
- Taller corner forms with tapered eaves (Photo 43) and some tall central elements (Photo 48).
- Steel external balconies with horizontal rail balustrades (Photo 43).
- Square columns at entries (Photo 45).
- Dwellings have a single garage.

### External finishes

- Rendered masonry to ground floor and upper level walls (Photo 45).
- Rendered masonry colours – white, off-white, light warm grey (Photo 45).
- Textured rendering, including horizontal banding and rough-surface texture (Photo 47).
- Inset/relief feature panels in upper level facades (Photo 43).
- Facades contain a covered entry porch which is centrally located and covered with either a flat roof form or balcony projection at first floor level.
- Continuation of the horizontal band which is consistent in all Precincts of the estate.
- Use of coarse stucco in wide render bands to link the facades.

### Roof types and materials

- Typically hip roof forms, grey 'slate' tiles, flat profile (Photo 49).
- Some red 'terracotta' tile roofs (Photo 50).

### Fenestration

- Grey metal frame windows with white external architraves (Photo 48).
- White/cream colour metal-framed windows, vertical orientation (Photo 44).
- Some round 'porthole' feature windows (Photo 51).
- Multiple small square feature windows (vertical) (Photo 47).

### Fence treatments

- Typically no front fence (Photo 49), rendered masonry letterbox, some front hedges (low height) (Photo 51).

### Landscaping

- Lower-height palm trees along Beacon Vista axis (Photo 44).
- Variety of low-height shrubs, spiky plants, creeping vines and small trees to front gardens (Photo 49).
- Large rocks at front boundary edge (Photo 47).
- Low-height hedges to front gardens (Photo 49).
- Rose bushes to front gardens (Photo 49).

### Public space

- Large, grassed central open space (Photo 48) with landscaped area at centre (Photo 52).
- Promenade palm trees along Beacon Vista axis (Photo 43).





Photo 42



Photo 43



Photo 44



Photo 45



Photo 46



Photo 47



Photo 48



Photo 49



Photo 50



Photo 52



Photo 51

## Local Neighbourhood Character

The physical characteristics described above contribute to the definition of the local character within Precinct C. This character comprises compact residential development of predominantly two-storey attached and semi-detached houses, facing the central axis of Beacon Vista and the central open space of Beacon Cove.

Residential buildings comprise a limited palette of materials and finishes, particularly rendered surfaces in white or off-white, tiled roofs, and external elements such as tower elements and feature roof and building forms, and external steel framework structures to balconies.

Houses have landscaped setback areas from street frontages, of limited depth, for an intimate relationship between houses and the public realm. Consistency of landscape treatments, letterbox and fence designs, and building design elements, contribute to a cohesive character in Precinct C, which is also integrated with the wider Beacon Cove estate. However the predominantly white buildings in Precinct C make this Precinct visually distinct from the others in Beacon Cove.

## Neighbourhood Character Guidelines

### Guideline 1: Building siting, setbacks

#### Building siting

- 1.1 Residential buildings should be oriented towards the main street frontage, with clearly visible entrance and large front windows (Photo 45) (Photo 47).
- 1.2 Building frontages should be aligned in parallel with the street frontage (Photo 42).
- 1.3 Buildings should maintain continuous built frontages to streets (Photo 44) (Photo 50).

#### Front and side setbacks

- 1.4 Residential buildings should maintain front setbacks of 2-5m approximately from the street frontage or footpath, in accordance with the prevailing pattern of development (Photo 42) (Photo 51).
- 1.5 New building works should not extend beyond existing front setbacks.
- 1.6 Side setbacks should be minimised, and are 0m (attached houses), to support continuous streetscape frontages and compact development patterns (Photo 44) (Photo 45).
- 1.7 Buildings should incorporate varied setbacks to the street frontage, to contribute to a diverse, layered streetscape (Photo 44) (Photo 45).
- 1.8 Upper levels may be set back above the garage to create a first level parapet balcony. Setback depth of upper level is approximately 1m-1.5m (Photo 48).
- 1.9 When facing streets or parks, only single storey additions are allowed.
- 1.10 Two storey additions should be confined to the rear of properties so as to have limited visibility from streets or parks.

### Guideline 2: Building form, height, roof design

#### Building form

- 2.1 Buildings should be rectilinear in plan with vertical walls in solid materials with punched windows (Photo 45).
- 2.2 A range of wall details and treatments may be applied, including parapet entrance walls, varied setbacks (front and side – see above), taller corner forms, and shallow roof overhangs, please refer to the physical characteristics of the Precinct.

#### Building height

- 2.3 Buildings are mainly two-storeys in height and the overall height of a building should not be increased.
- 2.4 Some buildings incorporate taller elements, such as corner tower forms (Photo 43) (Photo 49), an increase in the height of that building or a building on an adjoining allotment should not impact on the visibility of the tower or its role as an element within that streetscape

#### Roof design

- 2.5 Residential buildings should have pitched, hip roofs with roof tile cladding (Photo 44) (Photo 49), or flat roof areas (Photo 46) (Photo 48).
- 2.6 If part of the roof of a building is to be removed or demolished to allow for a replacement structure, then the replacement roof should be designed to match the style and colour of the existing or remaining roof.
- 2.7 The presence of roof eaves or overhangs is varied in Precinct C. Roof design should respond to existing characteristics (Photo 46) (Photo 51).
- 2.8 Roof eaves are measured horizontally from the wall under the eaves to the fascia. Where roof eaves need to be cut back to zero such as along boundary walls, the transition point should be well detailed to avoid an unsightly or uncharacteristic design result.
- 2.9 Roofs may incorporate skylights. They should not be visible from the streets or parks.

- 2.10 All gutters and downpipe profiles or treatments should match existing.
- 2.11 Roof materials may include roof tiles in grey slate colour (Figure 12 – aerial photograph), consistent with the characteristics of the Precinct.

**Roof decks**

- 2.12 Residential buildings in Precinct C have pitched roofs with some flat roofs, and roof decks are generally not present or not visible and should not be visible from streets or parks.



Figure 12: Plan indicating roof materials in Precinct C

### **Guideline 3: Building style, materials, colours**

#### **Building style**

- 3.1 The architectural style for Precinct C is defined as having English Regent influences, with recessed first floors forming a horizontal band as a link in the streetscape, and towers on corners and main view corridors.
- 3.2 The architectural style of an addition should exactly match the existing dwelling so as not to appear as an add-on.

#### **Materials: external walls**

- 3.3 External walls should be rendered masonry, in white or beige tones (see colours below). Ground and upper levels, may be articulated with horizontal banding or roughcast texture in the same colour (Photo 47) (Photo 51).
- 3.4 Residential buildings should incorporate a limited range of external materials and/or colours in a configuration that is in keeping with other Precinct C buildings.

#### **Finishing Colours**

- 3.5 Precinct C features monotone white colour theme and grey roof tiles to houses surrounding Central Park, and a two-tone white and beige theme to the Beacon Vista spine. These should be maintained. Please refer to the list of paint colours listed in Appendix A.
- 3.6 Rendered surfaces and all external timber fixtures must be consistent with the colour schemes of the surrounding streetscape and not be painted or finished in a colour of colours other than in those within the group of colours as specified by Bristol or equivalent or similar colours to those listed in Appendix A.
- 3.7 Most or all buildings in Precinct C are finished in a limited range of white and off-white tones.
- 3.8 Metal balustrading, fascia boards and guttering must not be painted or otherwise finished in a colour or colours other than those within the group of colours as specified by Bristol or equivalent or similar colours to those listed in Appendix A.

## Guideline 4: Fences and external elements

- 4.1 The location and styling of front fences and letter boxes is integral to the character of streetscapes within Beacon Cove.

### Fencing

- 4.2 Front fences should not be erected unless the streetscape already contains front fences
- 4.3 Fencing fronting any street shall either be brick or timber construction.
- 4.4 Where fencing is of timber construction, it shall:
- be constructed of horizontal timber with merbau stain, 12 mm in width x 75 mm high at 85 mm centres;
  - have concealed fixings to timber fence frames;
  - have splayed timber cappings;
  - be finished in natural timber finish throughout; and
  - be 1,800 mm above adjoining house floor levels.
- 4.5 Where fencing is of brick construction it shall:
- be a 230 mm face brick wall with 110 mm thick rendered capping having an overall height 600 mm above ground level;
  - incorporate rendered brick piers with 110 mm rendered cappings having an overall height of 1,000 mm above ground level and located at nominal 3.6 metre centres;
  - have feature corner piers to a height of 1,200 mm above ground level; and
  - Have entrance letter boxes and street numbers incorporated into the masonry pier when adjacent to house entries.

(All measurements above are approximations and variations of 5% to those measurements are within the specifications).

- 4.6 Building brickwork must be rendered using a cement render or such acrylic renders known as “Mac Render” or similar renders.
- 4.7 Houses do not have front fences (Photo 42) (Photo 47)

### Letterboxes

- 4.8 New letterboxes must match existing letterboxes in the surrounding streets both in design and finish
- 4.9 Letterboxes should be installed in low-height rendered masonry piers with stone/rendered capping, facing the street or access point (Photo 47) (Photo 49).
- 4.10 Letterboxes should be located as close as possible to the footpath for ease of access for deliveries, while maintaining safe vehicle driveway access and other requirements.

### External building elements

- 4.11 Alterations and additions to dwellings should maintain the use of strong architectural elements such as a well designed entry porch, front pergola or balcony facing the street and the use of horizontal banding.
- 4.12 Residential buildings may incorporate a range of external elements, including:
- stainless steel rails above rendered masonry half-balustrades (Photo 44).
  - external steel framework structures to balconies (Photo 43).
  - balcony balustrades are painted steel horizontal rails (Photo 44) (Photo 36).

### Ancillary Structures

- 4.13 Any proposed garden sheds, swimming pools, children’s cubby houses, aviaries or the like must not be visible from streets or parks or be adjacent to or nearby allotments.
- 4.14 All services are to be discreetly located so as not to be visible from streets and parks or where possible, adjoining or nearby allotments. This includes television aerials, satellite dishes, heaters, side exit fireplace flues, evaporative coolers, reverse cycle air conditioners and pool equipment.



- 4.15 Services that improve the environmental performance of the building should be discreetly located so as not to be visible from streets and parks unless there is no other reasonable alternative location available. This includes clothes lines, water tanks, solar hot water systems and photovoltaic panels.
- 4.16 Air conditioner units and pool equipment must be located to avoid noise transfer to adjoining allotments and not transmit more than 45dBA measured at the adjoining or nearby property boundary.

**Guideline 5:  
ESD, Sunlight access**

- 5.1 Building orientation, window design and external shading elements should be designed to optimise natural light access and solar control, within the stylistic limitations of the Precinct design character.
- 5.2 Materials, openings, insulation and other building elements should meet or exceed building code requirements for energy and water efficiency.
- 5.3 Awnings, shutters and the like should not be installed when visible from streets or parks. Landscaping is a preferred means of screening western sun or where not possible, the use of non-obscure window film that is not overly reflective or tinted may be used.



## Guideline 6: Car parking

- 6.1 A single garage space per dwelling must be provided (Photo 47) (Photo 49).
- 6.2 The existing number of concealed car spaces provided on an allotment should not be reduced.
- 6.3 A vehicular crossover should not be altered or constructed. This includes situations where homes share a driveway and crossover with adjacent homes in a 'grouped' arrangement. In these situations the shared driveway or crossover cannot be relocated or removed.
- 6.4 Where allowed, driveway widths should be limited to approximately 5.5m for double and 3.0m for single driveways.
- 6.5 Street facing garage doors should match existing garage doors and be finished in colours complementary to the existing neighbourhood character.
- 6.6 Where additional non-visitor vehicle accommodation is required such as for the storage of boats, caravans, or the like, this area must not be visible from the street or parks. In order to minimise driveway widths it is suggested tandem parking be utilised to provide additional accommodation without the need for extra garage doors.
- 6.7 Carports and garages must not project forward of the main frontage of the house.

## Guideline 7: Public realm

### Layout

- 7.1 The existing grid-based, permeable street layout should be retained.
- 7.2 Dwellings should provide an active frontage and clear entrance to the street frontage and/or public open space

### Materials, landscaping

- 7.3 Any new work or repairs should match original features, as identified within the physical characteristics of each precinct.
- 7.4 Public realm landscaping should encourage plants, trees and surface treatments which are drought-resilient and are respectful of existing species. The location of such landscaping should complement the neighbourhood character of the precinct.
- 7.5 Ground surfaces should be permeable where possible to increase site infiltration and minimise stormwater run-off. Sub-surface drainage should be provided to additionally remove stormwater run-off.
- 7.6 Footpaths should be maintained and repaired when necessary. The existing footpath concrete type should apply to all new and repaired footpaths (Photo 42) (Photo 43)
- 7.7 Existing mature trees should be retained where possible. Increased tree planting in the public realm, of species in keeping with existing trees is encouraged.
- 7.8 In keeping with relevant legislation, water conservation around landscape areas is encouraged.

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# Precinct D



## Location

Precinct D is located in the south-west corner of the Beacon Cove estate, with frontages to Beach Street (facing the High Rise Residential Precinct) and to Beacon Road. It encompasses a southern portion of Beacon Vista and part of The Crescent.



Figure 13: Aerial photograph of Precinct D

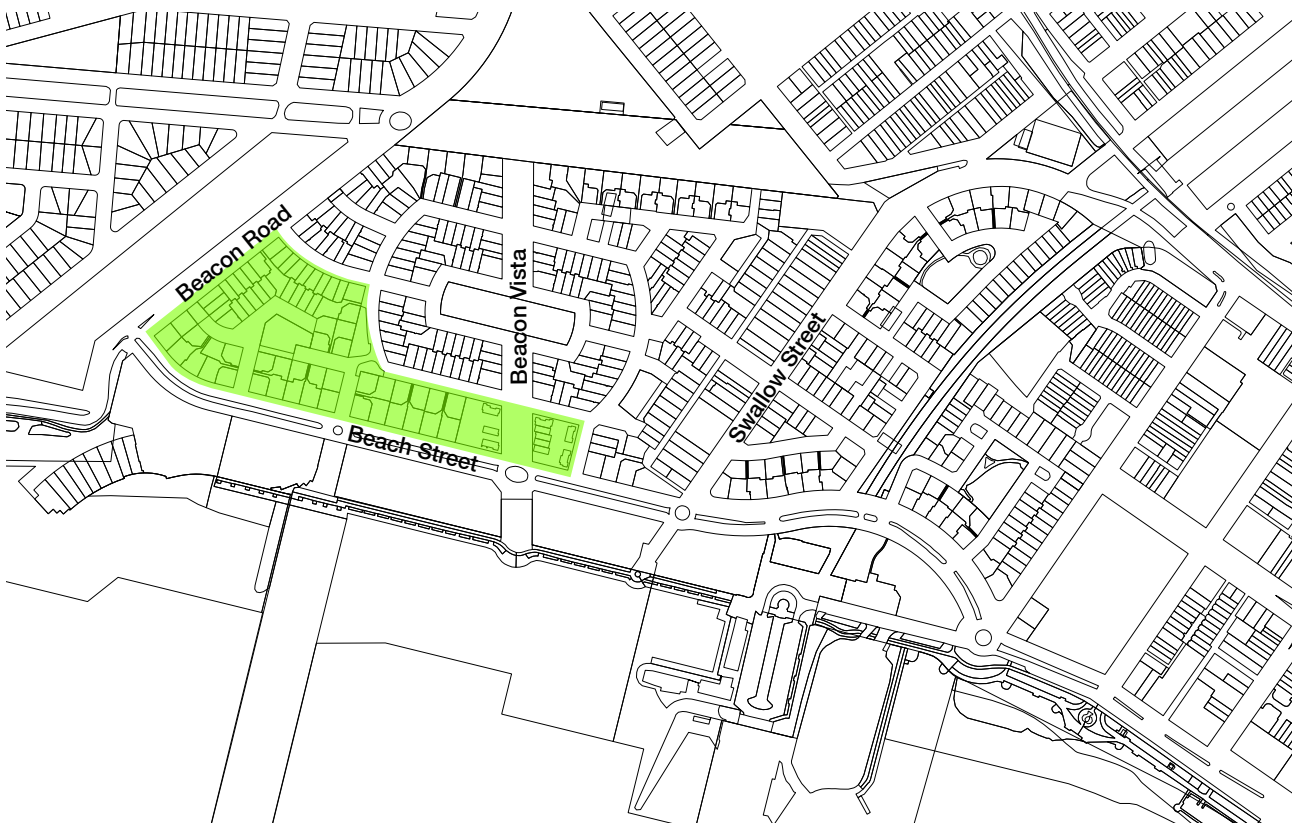


Figure 14: Location and layout of Precinct D

## Physical characteristics

Dwellings in this Precinct are described as having a contemporary style with pop-up curved roofs reflecting marine forms.

### Urban layout

- Focus on central open space, with frontages to Beacon Road (to west) and Beach Street (facing High-Rise Precinct to south).
- Incorporates southern portion of Beacon Vista axis.

### Built form

- Two-storey attached (Photo 54) (Photo 64) and some detached dwellings (Photo 53).
- Limited front setbacks (1-3m approximately).

### External elements

- Rendered masonry chimneys (Photo 53).
- Red brick external piers (columns) at entry (Photo 55).
- Timber pergola structure over upper level balcony (Photo 57).
- Steel external balconies with horizontal rail balustrades (Photo 60).
- Use of towers in strategic locations on corner sites and along main view corridors.
- Dwellings have a symmetrical street elevation with a covered centrally located entrance flanked by windows on either side of the entry.

### External finishes

- Red exposed brick or rendered masonry finish to ground level walls (Photo 57).
- Lightweight weatherboard cladding to some upper level walls (Photo 59).
- Lower level external colours: white, green, blue-grey or mustard rendered masonry (Photo 56) (Photo 58).
- Upper level external colours: white or mustard colour weatherboard cladding (Photo 55) and off-white rendered masonry (Photo 56).
- Use of lighter colours on the upper floors and garage doors.

### Roof types and materials

- Curved 'wave-form' feature roofs over taller entry elements and pop-up tower forms (Photo 61) (Photo 63).
- Hip roof forms, with red tiles, curved profile (Photo 63).
- Flat roofs with parapet walls, where pop-up tower forms exist (Photo 63).

### Fenestration

- Small, square inset windows and circular 'porthole' feature windows (Photo 59).
- Large, 'corner-less' windows to taller elements below curved roof forms (Photo 66).
- White/cream colour metal-framed windows, vertical orientation (Photo 59).
- External timber feature shutters to some balcony windows (Photo 59).
- Use of splashes of yellow in combination with grey render, red bricks and predominantly red roof tiles to create a distinctly colourful streetscape reflective of the surrounding marine architectural forms.

### Fence treatments

- Some low-height, short-length red brick fences, with white rendered capping (Photo 64).
- Often no front fence, rendered masonry letterbox (Photo 53).
- More significant fence treatment to Beacon Road and Beach Street: full height rendered wall, or low-height continuous red brick fence with rendered capping, sometimes with external hedge (Photo 62) (Photo 65) (Photo 67).

### Landscaping

- Variety of low-height shrubs, spiky plants, creeping vines and small trees to front gardens (Photo 66) (Photo 67).

### Public space

- Large, grassed central open space (Photo 55) with landscaped area at centre.
- Promenade palm trees along Beach Street median (Photo 63).
- Articulated footpaths (Photo 67).
- Mature eucalypt trees in streetscapes (Photo 62).
- Rose bushes to front gardens (Photo 62).



Photo 53



Photo 54



Photo 55



Photo 56



Photo 57



Photo 58



Photo 59



Photo 60



Photo 61



Photo 62



Photo 63



Photo 64



Photo 65



Photo 66



Photo 67

## Local Neighbourhood Character

The physical characteristics described above contribute to the definition of the local character within Precinct D. This character comprises compact residential development of predominantly two-storey attached and semi-detached houses.

Residential buildings comprise a diverse palette of materials and finishes, including rendered surfaces, exposed brickwork and weatherboard cladding, tiled roofs, and external elements such as tower elements and feature roof and building forms, external steel framework structures to balconies, rendered masonry chimneys, red brick external piers and timber pergola structures. A distinctive feature of Precinct D is the use of curved feature roof forms.

Houses have landscaped setback areas from street frontages, of limited depth, for an intimate relationship between houses and the public realm. Consistency of landscape treatments, letterbox and fence designs, and building design elements, contribute to a cohesive character in Precinct D, which is also integrated with the wider Beacon Cove estate.

## Neighbourhood Character Guidelines

### Guideline 1: Building siting, setbacks

#### Building siting

- 1.1 Residential buildings should be oriented towards the main street frontage, with clearly visible entrance and large front windows (Photo 54) (Photo 55).
- 1.2 Building frontages should be aligned in parallel with the street frontage (Photo 54).
- 1.3 Buildings should maintain continuous built frontages to streets (Photo 64).

#### Front and side setbacks

- 1.4 Residential buildings should maintain front setbacks of 1-4m approximately, from the street frontage or footpath, in accordance with the prevailing pattern of development (Photo 64) (Photo 65).
- 1.5 New building works should not extend beyond existing front setbacks.
- 1.6 Side setbacks or spaces between buildings should be minimised, to support continuous streetscape frontages and compact development patterns (Photo 54) (Photo 55).
- 1.7 Buildings should incorporate varied setbacks to the street frontage, to contribute to a diverse, layered streetscape (Photo 53) (Photo 54).
- 1.8 When facing streets or parks, only single storey additions are allowed. Two storey additions should be confined to the rear of properties so as to have limited visibility from streets or parks

### Guideline 2: Building form, height, roof design

#### Building form

- 2.1 Buildings should be rectilinear in plan with vertical walls in solid materials with punched windows (Photo 54).
- 2.2 A range of wall details and treatments may be applied, including parapet entrance walls, varied setbacks (front and side – see above), taller corner forms, and shallow roof overhangs.

#### Building height

- 2.3 Buildings are two-storeys in height and the overall height of a building should not be increased.
- 2.4 Some buildings incorporate taller elements, such as corner tower forms (Photo 59) (Photo 60), an increase in the height of that building or a building on an adjoining allotment should not impact on the visibility of the tower or its role as an element within that streetscape

#### Roof design

- 2.5 Residential buildings should have pitched, hip roofs with roof tile cladding (Photo 57) (Photo 59), and may incorporate curved, 'wave-like' feature roof forms at house entries or key corner locations (Photo 57) (Photo 59).
- 2.6 If part of the roof of a building is to be removed or demolished to allow for a replacement structure, then the replacement roof should be designed to match the style and colour of the existing or remaining roof.
- 2.7 The presence of roof eaves or overhangs is varied in Precinct D. Roof design should respond to existing characteristics (Photo 60) (Photo 61).
- 2.8 Roof eaves are measured horizontally from the wall under the eaves to the fascia. Where roof eaves need to be cut back to zero such as along boundary walls, the transition point should be well detailed to avoid an unsightly or uncharacteristic design result.
- 2.9 Roofs may incorporate skylights. They should not be visible from the streets or parks.



- 2.10 All gutters and downpipe profiles or treatments should match existing.
- 2.11 Roof materials may include roof tiles in red terra cotta colour or grey slate colour (Figure 15), or metal deck roofing to wave roof forms, consistent with the characteristics of the Precinct.

**Roof decks**

- 2.12 Residential buildings in Precinct D have pitched roofs with some flat roofs, and roof decks are generally not present or not visible and should not be visible from streets or parks.



Figure 15: Plan indicating roof materials in Precinct D

### **Guideline 3: Building style, materials, colours**

#### **Building style**

- 3.1 The architectural style for Precinct D is defined as Contemporary with pop-up curved roof forms mimicking marine-type forms. This comprises recessed first floors forming a strong horizontal band in the streetscape, and towers on corners and main view corridors.
- 3.2 The architectural style of an addition should exactly match the existing dwelling so as not to appear as an add-on.

#### **Materials: external walls**

- 3.3 External walls may be in the following materials:
- red brickwork, stretcher bond – typically at ground floor, but sometimes at upper levels.
  - rendered masonry (see colours above) – ground and upper levels.
  - weatherboard cladding to some upper levels.
- 3.4 Residential buildings should incorporate a range of 2-3 external materials and/or colours in a configuration that is in keeping with other Precinct D buildings.

#### **Finishing Colours**

- 3.5 Paint colours for Precinct D should match the existing colours on adjacent properties within the Precinct. The predominant colour should be a light shade, with trim colours in a darker shade. Please refer to the list of paint colours listed in Appendix A.
- 3.6 Precinct D incorporates varied use of materials, and distinctly colourful streetscapes emphasising surrounding marine-like architectural forms, through strong splashes of yellow in combination with grey render, smooth red bricks, weatherboards and red roof tiles.
- 3.7 Generally lighter colours should be applied to upper floors and garage doors.

- 3.8 Rendered surfaces and all external timber fixtures must be consistent with the colour schemes of the surrounding streetscape and not be painted or finished in a colour of colours other than in those within the group of colours as specified by Bristol or equivalent or similar colours to those listed in Appendix A.
- 3.9 Metal balustrading, fascia boards and guttering must not be painted or otherwise finished in a colour or colours other than those within the group of colours as specified by Bristol or equivalent or similar colours to those listed in Appendix A.

## Guideline 4: Fences and external elements

### Fencing

- 4.1 Front fences should not be erected unless the streetscape already contains front fences.
- 4.2 Fencing fronting any street shall either be brick or timber construction.
- 4.3 Where fencing is of timber construction, it shall:
- be constructed of horizontal timber with merbau stain, 12 mm in width x 75 mm high at 85 mm centres;
  - have concealed fixings to timber fence frames;
  - have splayed timber cappings;
  - be finished in natural timber finish throughout; and
  - be 1,800 mm above adjoining house floor levels.
- 4.4 Where fencing is of brick construction it shall:
- be a 230 mm face brick wall with 110 mm thick rendered capping having an overall height 600 mm above ground level;
  - incorporate rendered brick piers with 110 mm rendered cappings having an overall height of 1,000 mm above ground level and located at nominal 3.6 metre centres;
  - have feature corner piers to a height of 1,200 mm above ground level; and
  - Have entrance letter boxes and street numbers incorporated into the masonry pier when adjacent to house entries.
- 4.5 All measurements for fencing are approximations and variations of 5% to those measurements are within the specifications.
- 4.6 Building brickwork must be rendered using a cement render or such acrylic renders known as “Mac Render” or similar renders.
- 4.7 Houses have low-height, brick or rendered masonry front fences (Photo 65) (Photo 67), or no front fences (Photo 54). Side fences are taller, in timber or rendered masonry (Photo 62).

### Ancillary Structures

- 4.8 Any proposed garden sheds, swimming pools, children’s cubby houses, aviaries or the like must not be visible from streets or parks or allotments.
- 4.9 All services are to be discreetly located so as not to be visible from streets and parks or where possible, adjoining or nearby allotments. This includes television aerials, satellite dishes, heaters, side exit fireplace flues, evaporative coolers, reverse cycle air conditioners and pool equipment.
- 4.10 Services that improve the environmental performance of the building should be discreetly located so as not to be visible from streets and parks unless there is no other reasonable alternative location available. This includes clothes lines, water tanks, solar hot water systems and photovoltaic panels.
- 4.11 Air conditioner units and pool equipment must be located to avoid noise transfer to adjoining or nearby allotments and not transmit more than 45dBA measured at the adjoining property boundary.

### **Guideline 5: ESD, Sunlight access**

- 5.1 Building orientation, window design and external shading elements should be designed to optimise natural light access and solar control, within the stylistic limitations of the Precinct design character.
- 5.2 Materials, openings, insulation and other building elements should meet or exceed building code requirements for energy and water efficiency.
- 5.3 Awnings, shutters and the like should not be installed when visible from streets or parks. Landscaping is a preferred means of screening western sun or where not possible, the use of non-obscure window film that is not overly reflective or tinted may be used.

### **Guideline 6: Car parking**

- 6.1 A single garage space per dwelling should be provided (Photo 54) (Photo 57).
- 6.2 The existing number of concealed car spaces provided on an allotment should not be reduced.
- 6.3 A vehicular crossover should not be altered or constructed. This includes situations where homes share a driveway and crossover with adjacent homes in a 'grouped' arrangement. In these situations the shared driveway or crossover cannot be relocated or removed.
- 6.4 Where allowed, driveway widths should be limited to approximately 5.5m for double and 3.0m for single driveways.
- 6.5 Street facing garage doors should match existing garage doors and be finished in colours complementary to the existing neighbourhood character.
- 6.6 Where additional non-visitor vehicle accommodation is required such as for the storage of boats, caravans, or the like, this area must not be visible from the street or parks. In order to minimise driveway widths it is suggested tandem parking be utilised to provide additional accommodation without the need for extra garage doors.
- 6.7 Carports and garages must not project forward of the main frontage of the house.

## **Guideline 7: Public realm**

### **Layout**

- 7.1 The existing grid-based, permeable street layout should be retained.
- 7.2 Dwellings should provide an active frontage and clear entrance to the street frontage and/or public open space.

### **Materials, landscaping**

- 7.3 Any new work or repairs should match original features, as identified within the physical characteristics of each precinct.
- 7.4 Public realm landscaping should encourage plants, trees and surface treatments which are drought-resilient and are respectful of existing species. The location of such landscaping should complement the neighbourhood character of the precinct.
- 7.5 Ground surfaces should be permeable where possible to increase site infiltration and minimise stormwater run-off. Sub-surface drainage should be provided to additionally remove stormwater run-off.
- 7.6 Footpaths should be maintained and repaired when necessary. The existing footpath concrete type should apply to all new and repaired footpaths (Photo 65) (Photo 67).
- 7.7 Existing mature trees should be retained where possible. Increased tree planting in the public realm, of species in keeping with existing trees is encouraged.
- 7.8 In keeping with relevant legislation, water conservation around landscape areas is encouraged.

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# Precinct E



## Location

Precinct E is located along the northern edge of Beacon Cove, interfacing with the adjacent park and Beacon Road.



Figure 16: Aerial photograph of Precinct E

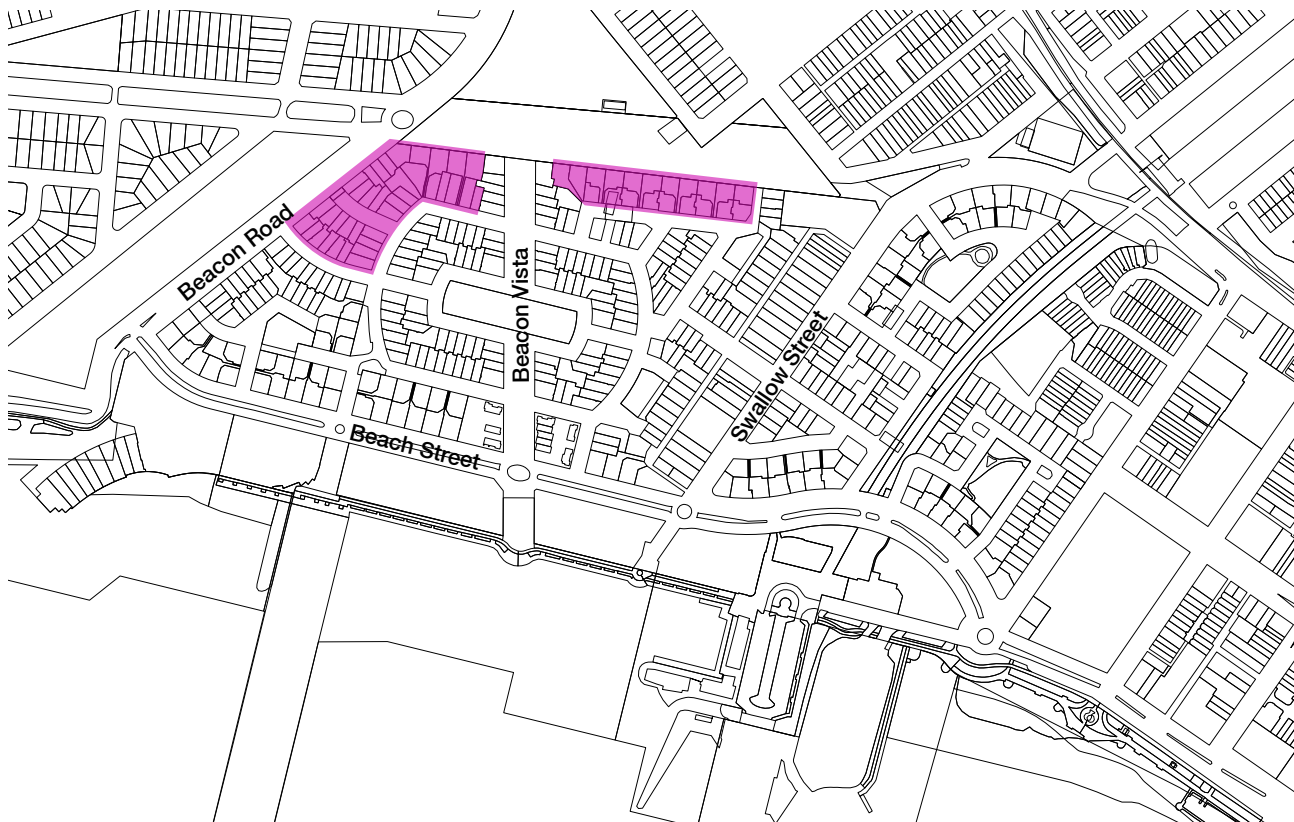


Figure 17: Location and layout of Precinct E

## Physical characteristics

Dwellings in this Precinct are described as having traditional vernacular language utilising soldier course brickwork and wide horizontal planes with large first floor balconies to Howe Parade Park.

### Urban layout

- Street-based layout at northern boundary and north-west corner of Beacon Cove.

### Built form

- Predominantly two-storey attached (Photo 68) (Photo 70) and some detached dwellings (Photo 72).
- Some taller corner forms (Photo 74) (Photo 69).

### External elements

- Steel external balconies with horizontal rail balustrades (Photo 68).
- Red exposed brick or rendered masonry finish to ground level walls and some upper level walls, including taller corner elements (Photo 68).
- Tall tower elements in strategic locations on corner sites and other view corridors, with white weatherboard cladding or face brick (Photo 71).
- Red brick external piers (columns) at entry (Photo 73).
- Timber pergola structure over upper level balcony (Photo 73).
- Centrally located entrance porticos typically finished in red brick or render.
- Use of curved balconies and the removal of other typical square capping which is seen in other precincts within the estate.

### External finishes

- Upper level external colours: off-white rendered masonry.
- White weatherboard cladding to tall tower elements (Photo 71).
- Exposed smooth red brickwork.
- Continuation of the use of darker materials/ finishes for the ground floor (mixture of grey and yellow render and red bricks) and lighter colours on the upper floors to visually recess the first floor of the dwellings to create horizontal bands to link the streetscapes.
- The colour palette is generally a more conservative colour theme with more vibrant yellows and grey.

### Roof types and materials

- Hip roof forms, with red tiles, flat profile (Photo 70).
- Pitched roof forms.

### Fenestration

- Grey metal frame windows with vertical orientation (Photo 77).
- Some tall, narrow upper level windows (Photo 72).

### Fence treatments

- Low-height, red brick fences, with white rendered capping (Photo 75).
- Often no front fence, rendered masonry letterbox (Photo 69).
- Some 'thatch' fences to enclose gap between houses (Photo 72).
- Tall white rendered masonry side/rear fences (Photo 75).

### Landscaping

- Variety of low-height shrubs, spiky plants, creeping vines and small trees to front gardens (Photo 68) (Photo 71).
- Rose bushes to front gardens (Photo 74).

### Public space

- Articulated footpaths, narrow nature strips (Photo 76).





Photo 68



Photo 69



Photo 70



Photo 71



Photo 72



Photo 73



Photo 74



Photo 75



Photo 76



Photo 77

## Local Neighbourhood Character

The physical characteristics described above contribute to the definition of the local character within Precinct E. This character comprises compact residential development of predominantly two-storey attached and semi-detached houses with distinctive corner tower forms. Some properties within this Precinct have frontages onto the Garden City Reserve, with some unique houses to the Beacon Cove Estate.

Residential buildings comprise a diverse palette of materials and finishes, including rendered surfaces, exposed brickwork and weatherboard cladding, tiled roofs, and external elements such as tower elements.

Houses have landscaped setback areas from street frontages, of limited depth, for an intimate relationship between houses and the public realm. Consistency of landscape treatments, letterbox and fence designs, and building design elements, contribute to a cohesive character in Precinct E, which is also integrated with the wider Beacon Cove estate.

## Neighbourhood Character Guidelines

### Guideline 1: Building siting, setbacks

#### Building siting

- 1.1 Residential buildings should be oriented towards the main street frontage, with clearly visible entrance and large front windows (Photo 68) (Photo 74).
- 1.2 Building frontages should be aligned in parallel with the street frontage (Photo 68).
- 1.3 Buildings should maintain continuous built frontages to streets (Photo 70) (Photo 73).

#### Front and side setbacks

- 1.4 Residential buildings facing streets within Precinct E should maintain front setbacks of 3-4m approximately from the street frontage or footpath, in accordance with the prevailing pattern of development (Photo 74) (Photo 77).
- 1.5 New building works should not extend beyond existing front setbacks.
- 1.6 Side setbacks or spaces between buildings should be minimised, to support continuous streetscape frontages and compact development patterns (Photo 72).
- 1.7 Buildings should incorporate varied setbacks to the street frontage, to contribute to a diverse, layered streetscape (Photo 68) (Photo 70).
- 1.8 When facing streets or parks, only single storey additions are allowed. Two storey additions should be confined to the rear of properties so as to have limited visibility from streets or parks.

### Guideline 2: Building form, height, roof design

#### Building form

- 2.1 Buildings should be rectilinear in plan with vertical walls in solid materials with punched windows (Photo 68).
- 2.2 A range of details and treatments may be applied, including parapet entrance walls, varied setbacks (front and side – see above), taller corner forms, and shallow roof overhangs.

#### Building height

- 2.3 Buildings are typically two-storeys in height and the overall height of a building should not be increased.
- 2.4 Some buildings incorporate taller elements, such as corner tower forms (Photo 69) (Photo 71), an increase in the height of that building or a building on an adjoining allotment should not impact on the visibility of the tower or its role as an element within that streetscape

#### Roof design

- 2.5 Residential buildings should have pitched, hip roofs with roof tile cladding (Photo 72) (Photo 74).
- 2.6 If part of the roof of a building is to be removed or demolished to allow for a replacement structure, then the replacement roof should be designed to match the style and colour of the existing or remaining roof.
- 2.7 Roofs incorporate shallow or no eaves or overhangs (Photo 72) (Photo 74).
- 2.8 Roofs may incorporate skylights. They should not be visible from the streets or parks.
- 2.9 All gutters and downpipe profiles or treatments should match existing.
- 2.10 Roof materials should be in red terra cotta colour (Figure 18), consistent with the characteristics of the Precinct.

**Roof decks**

2.11 Residential buildings in Precinct E have pitched roofs with some flat roofs, and roof decks are generally not present or not visible and should not be visible from streets or parks.

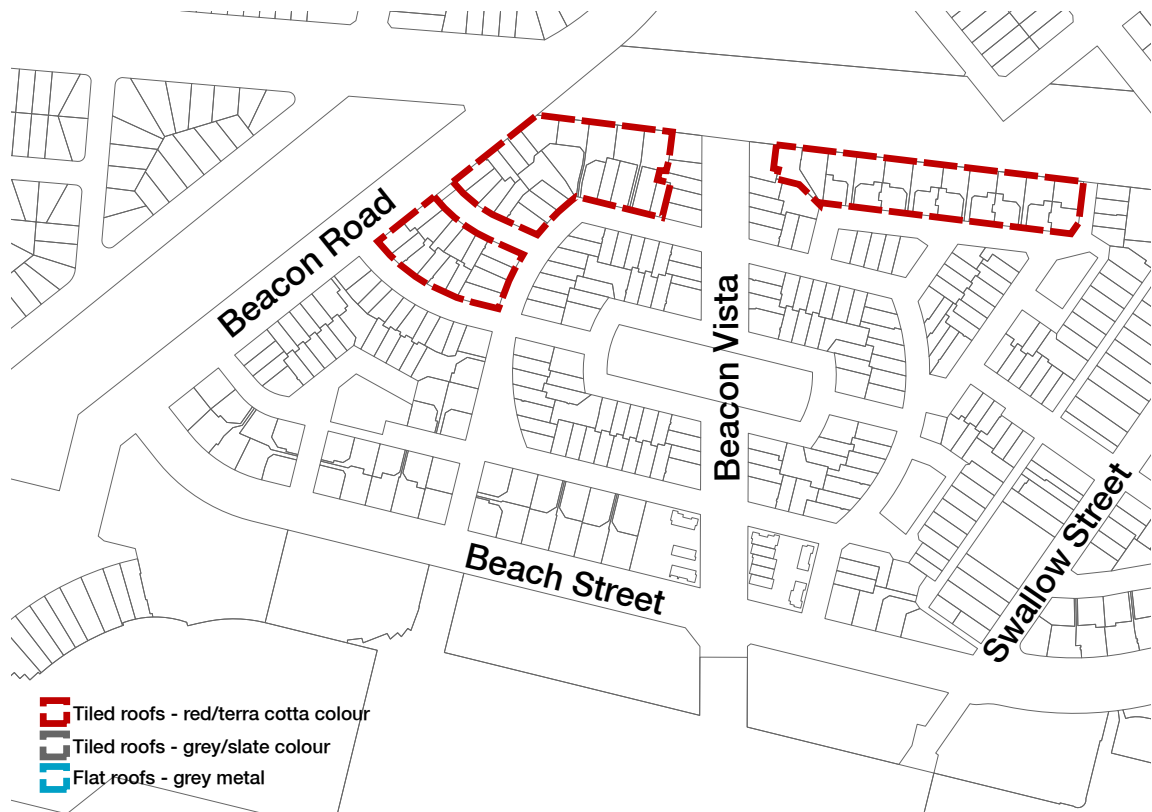


Figure 18: Plan indicating roof materials in Precinct E

### **Guideline 3: Building style, materials, colours**

#### **Building style**

- 3.1 The architectural style for Precinct E is defined as Contemporary with pop-up curved roof forms mimicking marine-type forms. This comprises recessed first floors forming a strong horizontal band in the streetscape, and towers on corners and main view corridors.
- 3.2 The architectural style of an addition should exactly match the existing dwelling so as not to appear as an add-on.

#### **Materials: external walls**

- 3.3 External walls may be in the following materials:
- red brickwork, stretcher bond – typically at ground floor, but sometimes at upper levels.
  - rendered masonry (see colours above) – ground and upper levels.
  - weatherboard cladding to some upper levels.
- 3.4 Residential buildings should incorporate a range of 2-3 external materials and/or colours in a configuration that is in keeping with other Precinct E buildings.

#### **Finishing Colours**

- 3.5 Paint colours for Precinct E should match the existing colours on adjacent properties within the Precinct. The predominant colour should be a light shade, with trim colours in a darker shade. Please refer to the list of paint colours listed in Appendix A.
- 3.6 Rendered surfaces and all external timber fixtures must be consistent with the colour schemes of the surrounding streetscape and not be painted or finished in a colour of colours other than in those within the group of colours as specified by Bristol or equivalent or similar colours to those listed in Appendix A.
- 3.7 Metal balustrading, fascia boards and guttering must not be painted or otherwise finished in a colour or colours other than those within the group of colours as specified by Bristol or equivalent or similar colours to those listed in Appendix A.

## Guideline 4: Fences and external elements

4.1 The location and styling of front fences and letter boxes is integral to the character of streetscapes within Beacon Cove.

### Fencing

4.2 Front fences should not be erected unless the streetscape already contains front fences

4.3 Fencing fronting any street shall either be brick or timber construction.

4.4 Where fencing is of timber construction, it shall:

- be constructed of horizontal timber with merbau stain, 12 mm in width x 75 mm high at 85 mm centres;
- have concealed fixings to timber fence frames;
- have splayed timber cappings;
- be finished in natural timber finish throughout; and
- be 1,800 mm above adjoining house floor levels.

4.5 Where fencing is of brick construction it shall:

- be a 230 mm face brick wall with 110 mm thick rendered capping having an overall height 600 mm above ground level;
- incorporate rendered brick piers with 110 mm rendered cappings having an overall height of 1,000 mm above ground level and located at nominal 3.6 metre centres;
- have feature corner piers to a height of 1,200 mm above ground level; and
- Have entrance letter boxes and street numbers incorporated into the masonry pier when adjacent to house entries.

4.6 All measurements for fencing are approximations and variations of 5% to those measurements are within the specifications.

4.7 Building brickwork must be rendered using a cement render or such acrylic renders known as "Mac Render" or similar renders.

4.8 Houses have low-height, brick or rendered masonry front fences (Photo 70) (Photo 75), or no front fences (Photo 72). Side fences are taller, in timber or rendered masonry (Photo 73).

### Ancillary Structures

4.9 Any proposed garden sheds, swimming pools, children's cubby houses, aviaries or the like must not be visible from streets, parks or adjacent allotments.

4.10 All services are to be discreetly located so as not to be visible from streets and parks or where possible, adjoining or nearby allotments. This includes television aerials, satellite dishes, heaters, side exit fireplace flues, evaporative coolers, reverse cycle air conditioners and pool equipment.

4.11 Services that improve the environmental performance of the building should be discreetly located so as not to be visible from streets and parks unless there is no other reasonable alternative location available. This includes clothes lines, water tanks, solar hot water systems and photovoltaic panels.

4.12 Air conditioner units and pool equipment must be located to avoid noise transfer to adjoining allotments and not transmit more than 45dBA measured at the adjoining or nearby property boundary.

### **Guideline 5: ESD, Sunlight access**

- 5.1 Building orientation, window design and external shading elements should be designed to optimise natural light access and solar control, within the stylistic limitations of the Precinct design character.
- 5.2 Materials, openings, insulation and other building elements should meet or exceed building code requirements for energy and water efficiency.
- 5.3 Awnings, shutters and the like should not be installed when visible from streets or parks. Landscaping is a preferred means of screening western sun or where not possible, the use of non-obscure window film that is not overly reflective or tinted may be used.

### **Guideline 6: Car parking**

- 6.1 A single garage space per dwelling should be provided (Photo 70) (Photo 75).
- 6.2 The existing number of concealed car spaces provided on an allotment should not be reduced.
- 6.3 A vehicular crossover should not be altered or constructed. This includes situations where homes share a driveway and crossover with adjacent homes in a 'grouped' arrangement. In these situations the shared driveway or crossover cannot be relocated or removed.
- 6.4 Where allowed, driveway widths should be limited to approximately 5.5m for double and 3.0m for single driveways.
- 6.5 Street facing garage doors should match existing garage doors and be finished in colours complementary to the existing neighbourhood character.
- 6.6 Where additional non-visitor vehicle accommodation is required such as for the storage of boats, caravans, or the like, this area must not be visible from the street or parks. In order to minimise driveway widths it is suggested tandem parking be utilised to provide additional accommodation without the need for extra garage doors.
- 6.7 Carports and garages must not project forward of the main frontage of the house.



## **Guideline 7: Public realm**

### **Layout**

- 7.1 The existing grid-based, permeable street layout should be retained.
- 7.2 Dwellings should provide an active frontage and clear entrance to the street frontage and/or public open space.

### **Materials, landscaping**

- 7.3 Footpaths should be maintained and repaired when necessary. The existing footpath concrete type should apply to all new and repaired footpaths (Photo 70) (Photo 75)
- 7.4 Existing mature trees should be retained where possible. Increased tree planting in the public realm, of species in keeping with existing trees is encouraged.
- 7.5 Any new work or repairs should match original features, as identified within the physical characteristics of each precinct.
- 7.6 Public realm landscaping should encourage plants, trees and surface treatments which are drought-resilient and are respectful of existing species. The location of such landscaping should complement the neighbourhood character of the precinct.
- 7.7 Ground surfaces should be permeable where possible to increase site infiltration and minimise stormwater run-off. Sub-surface drainage should be provided to additionally remove stormwater run-off.
- 7.8 In keeping with relevant legislation, water conservation around landscape areas is encouraged.

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# First Point Residential Precinct



## Location

The First Point Residential Precinct is located in the south-west corner of Beacon Cove, with access from First Point (street), and facing Sandridge Beach and the boardwalk.



Figure 19: Aerial photograph of the First Point Residential Precinct



Figure 20: Location and layout of the First Point Residential Precinct

## Physical characteristics

### Urban layout

- Single row of dual aspect townhouses with street frontage onto First Point Vista and the beach (Photo 78).

### Built form

- Typically 2.5-3.5 storey contemporary attached townhouses (Photo 80).

### External elements

- Rendered precast concrete expressed 'wrapping' external walls and roof (Photo 82).
- Sliding metal-louvre sun-shading screens to balconies (Photo 82).
- Roof deck with metal louvre pergola structure over and glazed 'pop-up' access space.
- Full-height glass balustrades to beach frontage (Photo 83).
- Half-height concrete/glass balustrades to street frontage (Photo 78).

### External finishes

- White/grey render or painted concrete external walls (Photo 83).

### Roof types and materials

- Flat roofs with trafficable surface for roof decks (Photo 80).

### Fenestration

- Black metal-framed full height glazing to beach frontage and street frontage (Photo 79) (Photo 78).

### Fence treatments

- Painted concrete (grey) side fences between adjoining courtyards at beach frontage (Photo 83).
- Painted concrete (white) fences.

### Landscaping

- Dense native grass and shrub planting to beach frontage courtyards (Photo 79).

### Public space

- Dense native grass and shrub planting to First Point streetscape (Photo 81).
- Dense native grass and shrub planting to beach frontage forecourt space (Photo 79).



Photo 78



Photo 79



Photo 80



Photo 81



Photo 82



Photo 83

## Local Neighbourhood Character

The physical characteristics described above contribute to the definition of the local character within the First Point Residential Precinct. This character comprises contemporary, three-storey townhouse residential development, with dual frontages facing the street and the beach. The house designs comprise modern, planar forms with extensive glazing and louvred screens.

The houses are set within landscaped courtyards and public realm areas, containing predominantly low-height, marine-environment plants such as native grasses.

# Neighbourhood Character Guidelines

## Guideline 1: Building siting, setbacks

### Building siting

- 1.1 Residential buildings should be oriented towards the main street frontage (First Point), with clearly visible entrance and large front windows (Photo 80), as well as to the beach/promenade frontage (Photo 83).
- 1.2 Buildings should maintain continuous built frontages to the street and promenade (Photo 78) (Photo 83).

### Front and side setbacks

- 1.3 Residential buildings should maintain landscaped front (promenade) setbacks of 8-10m approx., in accordance with the prevailing pattern of development (Photo 79).
- 1.4 New building works should not extend beyond existing front setbacks.
- 1.5 Side setbacks or spaces between buildings should be minimised, and are typically zero at ground floor, with some spacing at upper levels, to support continuous streetscape frontages and compact development patterns (Photo 79). The existing break in the built form frontage should be maintained (Photo 80).

## Guideline 2: Building form, height, roof design

### Building form

- 2.1 Buildings should typically be rectilinear in plan with vertical walls in solid materials forming planes or surfaces / framing elements, with extensive glazing areas (Photo 79).
- 2.2 House design should maintain the established approach of integrating walls, floors and roofs as 'planes' or surfaces, rather than enclosed volumes (Photo 80) (Photo 81).

### Building height

- 2.3 Buildings are typically three-storeys in height, plus roof decks. This height should be maintained (Photo 80).

### Roof design

- 2.4 Residential buildings should have flat roofs, to accommodate terrace areas and roof decks (Photo 80).
- 2.5 Roofs may incorporate skylights. They should not be visible from the streets or parks.
- 2.6 Roof materials should match or complement existing materials, including paving tiles for terrace areas.

### Roof decks

- 2.7 Residential buildings in First Point typically have roof terraces at the top level, with internal stair access. This aspect should be maintained in all dwellings.
- 2.8 Roof terraces should incorporate louvred canopies to match existing (Photo 81).

### **Guideline 3: Building style, materials, colours**

#### **Building style**

- 3.1 The architectural style for the First Point Residential Precinct is contemporary/beachfront resort style, with expressed precast concrete wall and floor/roof planes and framing elements, extensive glazing and louvred metal screens.

#### **Materials: external walls**

- 3.2 External walls may be in the following materials: white/grey render or painted concrete external walls.
- 3.3 Residential buildings should typically incorporate a range of 2-3 external colours in a configuration that is in keeping with other First Point buildings.

#### **Finishing Colours**

- 3.4 Paint colours for the First Point Residential Precinct should match the existing colours on adjoining properties within the Precinct. The predominant colour should be a light shade, with trim colours in a darker shade. Please refer to the list of paint colours listed in Appendix A.
- 3.5 Rendered surfaces and all external fixtures should be painted in white and grey colours to match existing buildings within First Point.

### **Guideline 4: Fences and external elements**

#### **Fencing**

- 4.1 Fencing fronting any street or promenade shall either be of concrete construction with rendered finish to match existing fences (Photo 79).

#### **External elements**

- 4.2 North-facing facades should incorporate metal louvred screens (movable), to match existing screens (Photo 80) (Photo 82).

### **Guideline 5: ESD, Sunlight access**

- 5.1 Building orientation, window design and external shading elements should be designed to optimise natural light access and solar control, within the stylistic limitations of the Precinct design character.
- 5.2 Materials, openings, insulation and other building elements should meet or exceed building code requirements for energy and water efficiency.

### **Guideline 6: Car parking**

- 6.1 A double garage space per dwelling should be provided (Photo 80).



## **Guideline 7: Public realm**

### **Layout**

- 7.1 Dwellings should provide an active frontage and clear entrance to the street frontage and public promenade/beach frontage.

### **Materials, landscaping**

- 7.2 Existing public realm landscaping should be maintained and enhanced where appropriate, including promenade setback areas to houses (Photo 81) (Photo 83).
- 7.3 Existing mature trees should be retained where possible. Increased tree planting in the public realm, of species in keeping with existing trees is encouraged.

A photograph of a modern high-rise residential building with a paved walkway, palm trees, and a waterfront view. The building is on the left, featuring balconies and large windows. The walkway is paved with light-colored bricks and runs along the waterfront. Palm trees and other plants are planted along the walkway. In the distance, a body of water and other buildings are visible under a clear blue sky. A purple horizontal bar is at the top of the image.

# High Rise Residential Precinct

## Location

The High-Rise Residential Precinct is located along the south edge of Beacon Cove, between Beach Street and the waterfront promenade, and extends from the Mixed-Use Precinct to the First Point Precinct.

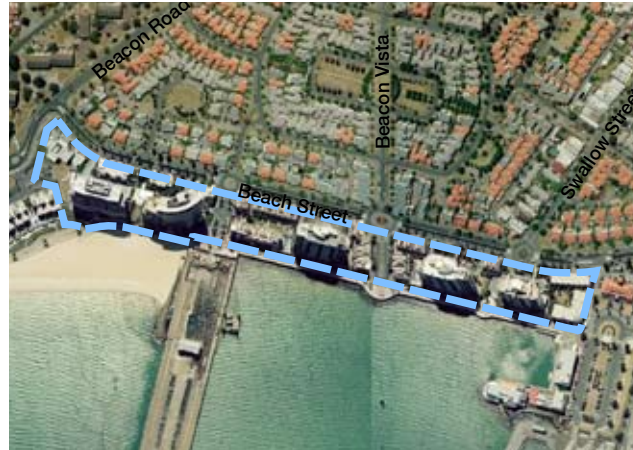


Figure 21: Aerial photograph of the High Rise Residential Precinct

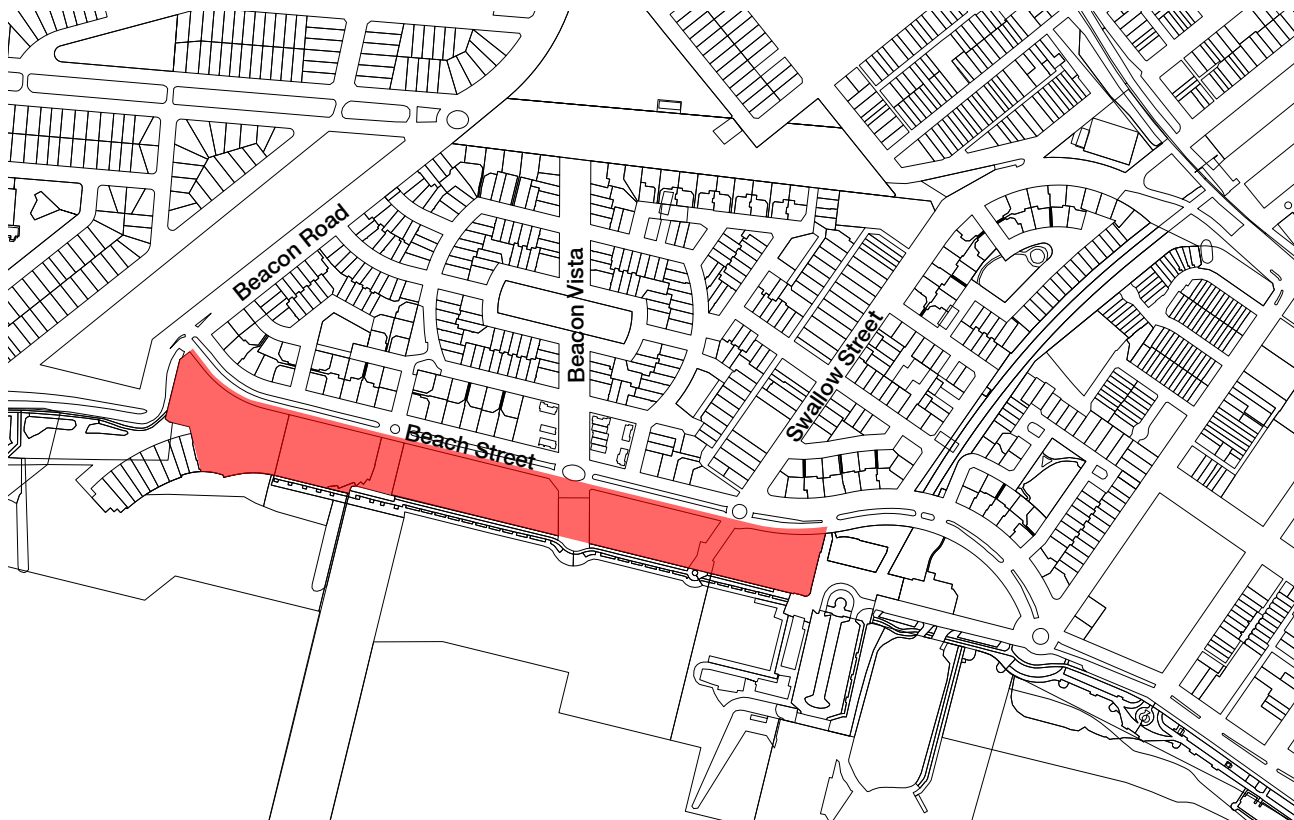


Figure 22: Location and layout of the High Rise Residential Precinct

## Physical characteristics

### Urban layout

- Waterfront strip comprising 5 high-rise buildings (12-14 storeys approx.) (Photo 84) and connecting podium (Photo 86), one mid-rise building (6-storeys) (Photo 90) and several 3-4-storey townhouse buildings (Photo 89).

### Built form

- Distinctly contemporary building designs – interlocking, expressed planes, blades etc, steel and glass details (balustrades, pergolas).
- Consistent materials, colours and details within each building.
- Distinct design details between buildings.

### External elements

External elements are diverse and varied, but include the following examples:

- Expressed rendered precast concrete blade walls (Photo 85) (Photo 87).
- rendered precast concrete flat wall panels (Photo 85).
- Clear glass balustrades, metal frames (Photo 85).
- Metal frame balustrades (Photo 87).
- Metal rail balustrades (Photo 88).
- Expressed concrete balustrade up-stands (Photo 87).
- Elevated roof planes and louvred screens (Photo 90).
- Metal cantilevered entry canopies (Photo 91).

### External finishes

- Painted or rendered precast concrete, range of neutral and highlight colours (Photo 93).

### Roof types and materials

- Typically flat concrete or metal roofs (generally not visible) (Photo 95).
- Some expressed details at tower roofs (Photo 94).
- Feature roof details (Photo 97).

### Fenestration

- Metal framed windows and doors to balconies (Photo 92).

### Fence treatments

- Low height hedges to Beach Street frontages (Photo 91).
- Semi-basement walls along promenade (Photo 98) (Photo 99).

### Landscaping

- Low height hedges to Beach Street frontages (Photo 89).

### Public space

- Waterfront promenade: timber decking, concrete and timber seating (Photo 96)



Photo 84



Photo 85



Photo 86



Photo 87



Photo 88



Photo 89



Photo 90



Photo 91



Photo 92



Photo 93



Photo 94



Photo 95

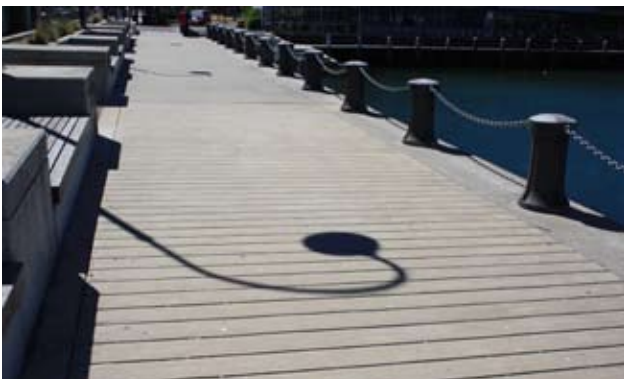


Photo 96



Photo 97



Photo 98



Photo 99

## Local Neighbourhood Character

The physical characteristics described above contribute to the definition of the local character within the High-Rise Residential Precinct. This character comprises contemporary high-rise residential buildings along the waterfront, and some low-rise (3-4 storey) townhouse and apartment buildings along Beach Street.

The buildings incorporate diverse architectural styles, materials and finishes, for a range of expressions across the different buildings.

## Neighbourhood Character Guidelines

### Guideline 1: Building siting, setbacks

#### Building siting

- 1.1 High-rise residential buildings are oriented towards the waterfront promenade, with podium development incorporating building entries (Photo 86).
- 1.2 Lower-rise buildings should maintain entrance frontages to Beach Street (Photo 91).
- 1.3 Buildings should maintain continuous built frontages to the street and promenade (Photo 93) (Photo 98).

#### Front and side setbacks

- 1.4 Buildings typically incorporate zero-setbacks to the promenade (podium forms) (Photo 98), and minimal setbacks to Beach Street (1-2m approx.) (Photo 91)
- 1.5 New building works should not extend beyond existing front setbacks.
- 1.6 Side setbacks or spaces between buildings should be avoided at podium level, but with significant spacing between tower forms above.

### Guideline 2: Building form, height, roof design

#### Building form and height

- 2.1 Buildings should typically incorporate continuous podium forms 3-4 storeys in height, with tower forms above (Photo 86).
- 2.2 Total height of high rise towers is 12-14 storeys.
- 2.3 Lower-rise built form incorporates 3-4 storey townhouse buildings (Photo 97).

#### Roof design

- 2.4 Roof designs are typically flat concrete slabs, in keeping with the building's structural system.
- 2.5 Lower-rise buildings may incorporate feature roof forms at corner locations and entries, such as pop-up canopies (Photo 90) (Photo 95).

#### Roof decks

- 2.6 Roof terraces should be incorporated/maintained at podium and/or upper levels where appropriate/available.



### **Guideline 3: Building style, materials, colours**

#### **Building style**

- 3.1 The architectural style of the High-Rise Precinct comprises contemporary high-rise residential buildings along the waterfront, and some low-rise (3-4 storey) townhouse and apartment buildings along Beach Street. The buildings incorporate diverse architectural styles, materials and finishes, for a range of expressions across the different buildings.

#### **Materials: external walls**

- 3.2 External walls may be in the following materials: painted or rendered precast concrete, range of neutral and highlight colours (Photo 93).
- 3.3 Residential buildings should typically incorporate a range of 2-3 external colours in a configuration that is in keeping with the building design and other High-Rise Precinct buildings.

#### **Finishing Colours**

- 3.4 Paint colours for the High Rise Residential Precinct should match the existing colours on adjacent properties within the Precinct. The predominant colour should be a light shade, with trim colours in a darker shade. Please refer to the list of paint colours listed in Appendix A.
- 3.5 Rendered surfaces and all external fixtures should be painted in colours to match existing buildings within the Precinct.

### **Guideline 4: Fences and external elements**

#### **Fencing**

- 4.1 Fencing fronting the promenade should typically comprise rendered concrete walls and translucent screens, with raised frontages (Photo 86) (Photo 87).

#### **External elements**

- 4.2 Existing buildings comprise a range of external fixtures. Any new fixtures should match existing elements in the relevant building.

### **Guideline 5: ESD, Sunlight access**

- 5.1 Building orientation, window design and external shading elements should be designed to optimise natural light access and solar control, within the stylistic limitations of the Precinct design character.
- 5.2 Materials, openings, insulation and other building elements should meet or exceed building code requirements for energy and water efficiency.

### **Guideline 6: Car parking**

- 6.1 Typically provide podium/basement parking for dwellings as required.

### **Guideline 7: Public realm**

#### **Layout**

- 7.1 Ensure that dwellings provide an active frontage and clear entrance to the street frontage and public promenade/beach frontage.

#### **Materials, landscaping**

- 7.2 Existing public realm landscaping should be maintained and enhanced where appropriate, including promenade setback areas to houses (Photo 99).
- 7.3 Existing mature trees should be retained where possible. Increased tree planting in the public realm, of species in keeping with existing trees is encouraged.

## Appendix A – Paint Colour Specification

The following lists of external paint colours are reproduced from original Beacon Cove specifications and restrictive covenants, and form a definitive guide to external colours within Beacon Cove.

### Precinct A

Rendered surfaces and all external timber fixtures must be consistent with the colour scheme outlined below, within the list of Finishing Colours by Bristol (or equivalent/similar colours) outlined below. In addition, metal balustrading, fascia boards and guttering must not be painted or otherwise finished in a colour (or colours), than those specified within the list of 'Feature Colours' by Bristol outlined below.

#### Finishing Colours

Dried Palm	B118-06
Olive Haze	B119-03
Quicksand	B122-05
Amberwood	B129-06
Fresh Biscuit	B138-06
Natural Almond	B141-01
Mood Beige	B141-04
North West Trail	B142-06
Beau Grey	B147-06
Elephant Walk	B149-10
Basilica	B150-07
Windstream	B154-06
Rebel Grey	B 154-11

#### Feature Colours

Vixen	B031-10
Crown Jewels	B049-12
Golden Straw	B121-09
Blackberry	B055-12
Gendarme	B072-12
Florentine Blue	B153-10
Breakwater Ridge	B155-11
Teal Suede	B155-12
Grey Street	B160-10

## Precinct B

Rendered surfaces and all external timber fixtures must be consistent with the colour scheme outlined below, within the list of Finishing Colours by Bristol (or equivalent/similar colours) outlined below. In addition, metal balustrading, fascia boards and guttering must not be painted or otherwise finished in a colour (or colours), than those specified within the list of 'Feature Colours' by Bristol outlined below.

### Finishing Colours

Dried Palm	B118-06
Olive Haze	B119-03
Quicksand	B122-05
Amberwood	B129-06
Fresh Biscuit	B138-06
Natural Almond	B141-01
Mood Beige	B141-04
North West Trail	B142-06
Beau Grey	B147-06
Elephant Walk	B149-10
Basilica	B150-07
Windstream	B154-06
Rebel Grey	B 154-11
Evening Meadow	B166-09
Stormy Meadow	B100-11
Tower of London	B164-09
Palestone	B132-03
Eager Beaver	B133-08

### Feature Colours

Vixen	B031-10
Crown Jewels	B049-12
Golden Straw	B121-09
Blackberry	B055-12
Gendarme	B072-12
Florentine Blue	B153-10
Breakwater Ridge	B155-11
Teal Suede	B155-12
Grey Street	B160-10
Elephant Walk	B149-10
Tower of London	B164-09

## Precinct C

Rendered surfaces and all external timber fixtures must be consistent with the colour scheme outlined below, within the list of Finishing Colours by Bristol (or equivalent/similar colours) outlined below. In addition, metal balustrading, fascia boards and guttering must not be painted or otherwise finished in a colour (or colours), than those specified within the list of 'Feature Colours' by Bristol outlined below.

### Finishing Colours

Dried Palm	B118-06
Olive Haze	B119-03
Quicksand	B122-05
Amberwood	B129-06
Fresh Biscuit	B138-06
Natural Almond	B141-01
Mood Beige	B141-04
North West Trail	B142-06
Beau Grey	B147-06
Elephant Walk	B149-10
White Smoke	B147-01
Silver Lining	B156-04
Bullet	B152-08
White Rose	B005-02
Ring Dove	B147-02
Basilica	B150-07
Windstream	B154-06
Rebel Grey	B 154-11
Evening Meadow	B166-09
Stormy Meadow	B100-11
Tower of London	B164-09
Palestone	B132-03
Eager Beaver	B133-08
Stormy night	B100-11
Riverbed	B120-07

## Precinct D

### Feature Colours

Vixen	B031-10
Crown Jewels	B049-12
Golden Straw	B121-09
Blackberry	B055-12
Gendarme	B072-12
Florentine Blue	B153-10
Breakwater Ridge	B155-11
Teal Suede	B155-12
Grey Street	B160-10
Elephant Walk	B149-10
Tower of London	B164-09

Rendered surfaces and all external timber fixtures must be consistent with the colour scheme outlined below, within the list of Finishing Colours by Bristol (or equivalent/similar colours) outlined below. In addition, metal balustrading, fascia boards and guttering must not be painted or otherwise finished in a colour (or colours), than those specified within the list of 'Feature Colours' by Bristol outlined below.

### Finishing Colours

Dried Palm	B118-06
Olive Haze	B119-03
Quicksand	B122-05
Amberwood	B129-06
Fresh Biscuit	B138-06
Natural Almond	B141-01
Mood Beige	B141-04
North West Trail	B142-06
Beau Grey	B147-06
Elephant Walk	B149-10
Stormy night	B100-11
Riverbed	B120-07
White Smoke	B147-01
Silver Lining	B156-04
Bullet	B152-08
White Rose	B005-02

### Feature Colours

Ring Dove	B147-02
Basilica	B150-07
Windstream	B154-06
Rebel Grey	B 154-11
Evening Meadow	B166-09
Stormy Meadow	B100-11
Tower of London	B164-09
Palestone	B132-03
Eager Beaver	B133-08

## Precinct E

Rendered surfaces and all external timber fixtures must be consistent with the colour scheme outlined below, within the list of Finishing Colours by Bristol (or equivalent/similar colours) outlined below. In addition, metal balustrading, fascia boards and guttering must not be painted or otherwise finished in a colour (or colours), than those specified within the list of 'Feature Colours' by Bristol, Dulux or Porters, outlined below.

### Finishing Colours

Bristol:

Dried Palm	B118-06
Olive Haze	B119-03
Quicksand	B122-05
Amberwood	B129-06
Fresh Biscuit	B138-06
Natural Almond	B141-01
Mood Beige	B141-04
North West Trail	B142-06
Beau Grey	B147-06
Elephant Walk	B149-10
Basillica	B150-07
Windstream	B154-06
Rebel Grey	B 154-11
Evening Meadow	B166-09
Stormy Meadow	B100-11
Tower of London	B164-09
Palestone	B132-03
Eager Beaver	B133-08

### Feature Colours

Bristol:

Vixen	B031-10
Crown Jewels	B049-12
Golden Straw	B121-09
Blackberry	B055-12
Gendarme	B072-12
Florentine Blue	B153-10
Breakwater Ridge	B155-11
Teal Suede	B155-12
Grey Street	B160-10
Elephant Walk	B149-10
Tower of London	B164-09
Riverbed	B120-07
Moselle	B004-01
Ring Dove	B147-02
Rebel Grey	B154-11
Tower of London	B164-09
Pavestone	B132-03

Dulux:

Moon Struck	20 YY 53
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Porters:

Original Lime Wash	Cord
Original Lime Wash	Bowral Stone

# Finishing Colours

**Bristol:**



White Rose



Stormy Meadow



Dried Palm



Olive Haze



Riverbed



Quicksand



Amberwood



Palestone



Eager Beaver



Fresh Biscuit



Natural Almond



Mood Beige



North West Trail



White Smoke



Ring Dove



Beau Grey



Elephant Walk



Basilica



Bullet



Windstream



Rebel Grey



Silver Lining



Tower of London



Evening Meadow

## Feature Colours

### Bristol:



Moselle



Vixen



Crown Jewels



Blackberry



Gendarme



Riverbed



Golden Straw



Palestone



Ring Dove



Elephant Walk



Florentine Blue



Rebel Grey



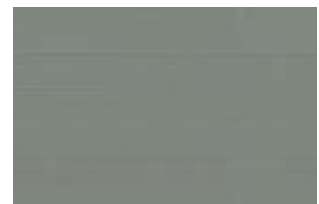
Breakwater Ridge



Teal Suede



Grey Street



Tower of London

### Dulux:



Moon Struck/Mustard Sauce

### Porters:



Bowral Stone Eggshell



Cord Eggshell

