

E W E R T
L E A F

City of Port Phillip Advertised Plan 1 of 34

Project	46-52 ST KILDA ROAD, ST KILDA, VIC 3182
Date:	10.01.2020
Revision	B

BETTER APARTMENTS DESIGN STANDARDS ANALYSIS

	FUNCTIONAL LAYOUT				ROOM DEPTH	WINDOWS	STORAGE (VOLUME)		NATURAL VENTILATION	PRIVATE OPEN SPACE		ACCESSIBILITY	
	MASTER BED 3.4 X 3M	BED 3 X 3M	LIVING AREA MINIMUM WIDTH 1 BED: 3.3M 2 / 3 BED: 3.6M	LIVING AREA MINIMUM AREA 1 BED: 10 SQM 2 / 3 BED: 12 SQM			MINIMUM STORAGE WITHIN DWELLING	MINIMUM EXTERNAL STORAGE		MIN 40% OF DWELLINGS	MIN AREA	MIN DIMENSION	MIN 50% OF DWELLINGS
G.01	Y	Y	Y	Y	Y	Y	Y	Y		Y	Y	Y	B
G.02	Y	Y	Y	Y	Y	Y	Y	Y		Y	Y		
1.01	Y		Y		Y	Y	Y	Y		Y	Y	Y	B
1.02	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y		
1.03	Y	Y	Y	Y	Y	Y	Y	Y		Y	Y	Y	B
1.04	Y	Y	Y	Y	Y	Y	Y	Y		Y	Y	Y	B
1.05	Y	Y	Y	Y	Y	Y	Y	Y		Y	Y		
1.06	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	B
2.01	Y		Y		Y	Y	Y	Y		Y	Y	Y	B
2.02	Y	Y	Y	Y	Y	Y		Y	Y	Y	Y		
2.03	Y	Y	Y	Y	Y	Y	Y	Y		Y	Y	Y	B
2.04	Y	Y	Y	Y	Y	Y	Y	Y		Y	Y	Y	B
2.05	Y	Y	Y	Y	Y	Y	Y	Y		Y	Y		
2.06	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	B
3.01	Y		Y		Y	Y	Y	Y		Y	Y		
3.02	Y	Y	Y	Y	Y	Y		Y	Y	Y	Y		
3.03	Y	Y	Y	Y	Y	Y	Y	Y		Y	Y	Y	B
3.04	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y		
4.01	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y		
4.02	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	A
5.01	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y		
5.02	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	A
6.01	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y		
6.02	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	A
7.01	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y		
7.02	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y		
26									53%			50%	

E W E R T
L E A

City of Port Phillip

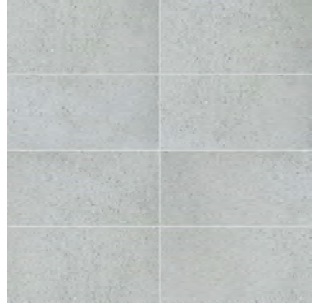


Advertised Plan 2 of 34

Date: 10.01.2020	Issue: B	PRELIMINARY			
Area Schedule: 46-52 ST KILDA ROAD					
Unit	Area(m ²)	Bedroom	Private Open Space(m ²)	Total(m ²)	Car Spaces
COMMERCIAL 1	117	N/A	N/A	N/A	2
COMMERCIAL 2	117	N/A	N/A	N/A	2
TOTAL	234	N/A	N/A	N/A	4

Ground Floor					
G.01	79	2	17	96	1
G.02	102	2	18	120	1
First Floor					
1.01	51	1	8	59	1
1.02	83	2	14	97	1
1.03	89	2	16	105	1
1.04	79	2	15	94	1
1.05	84	2	15	99	1
1.06	69	2	8	77	1
Second Floor					
2.01	51	1	8	59	1
2.02	83	2	14	97	1
2.03	89	2	16	105	1
2.04	79	2	15	94	1
2.05	84	2	15	99	1
2.06	69	2	8	77	1
Third Floor					
3.01	49	1	29	78	1
3.02	117	3	66	183	2
3.03	77	2	15	92	1
3.04	133	3	41	174	2
Fourth Floor					
4.01	148	3	39	187	2
4.02	143	3	28	171	2
Fifth Floor					
5.01	148	3	39	187	2
5.02	143	3	27	170	2
Sixth Floor					
6.01	148	3	39	187	2
6.02	143	3	27	170	2
Seventh Floor					
7.01	148	3	39	187	2
7.02	143	3	27	170	2
Visitor Surplus					
Visitor					0
Surplus					4
TOTAL					
26	2631		603	3234	44

DATE: 10 JANUARY 2020
REVISION: [B] – TOWN PLANNING SUBMISSION

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EXTERNAL FINISHES SCHEDULE				
TOWN PLANNING				
Description	Location / Level	Specification	Colour/Finish	Image
EXTERIOR FINISHES				
BAL 01	Balustrade Refer Elevations	Terracotta Cladding	Light Grey	
BAL 02	Balustrade Refer Elevations	Glass Balustrade	Clear	
CON 01	Walls / External Framing Refer Elevations	Concrete	Light Grey	

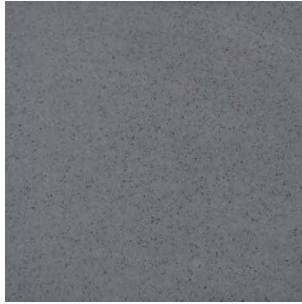

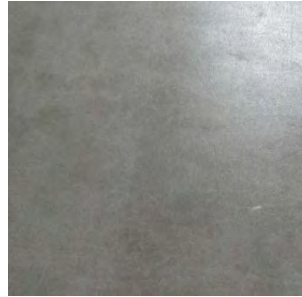
City of Port Phillip Advertised Plan 4 of 34

MET 01	Refer Elevations	Metal Cladding	Colour : Grey	
REN 01	Refer Elevations	Render	Colour : White	
STL 01	Refer Elevations	Feature Metal Detailing	Colour : Grey	
SCR 01	Screen Refer Elevations	Bifold Metal Screening	Colour : Grey	

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SCR 02	Privacy Screen Refer Elevations	Horizontal Louvers Screening	Colour : Grey	
GARAGE DOOR / SECURITY GATE	Entrance to basement car park	Metal Tilt Door (Design to Match BAL 01)	Charcoal	
WINDOW GLAZING	Generally	Glass	Clear	
WINDOW GLAZING	Privacy Glazing (Refer Elevations for Extent of Obscured Glazing)	Glass	Translucent	

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PAVING	Exterior paving to terraces and ground floor entry	Bluestone	Finish TBC	
CONCRETE	Driveway	Exposed aggregate	Colour and Texture TBC	
CONCRETE	Car Park	Sealed	Broom finish	

46-52 ST KILDA ROAD ST KILDA, VICTORIA 3182

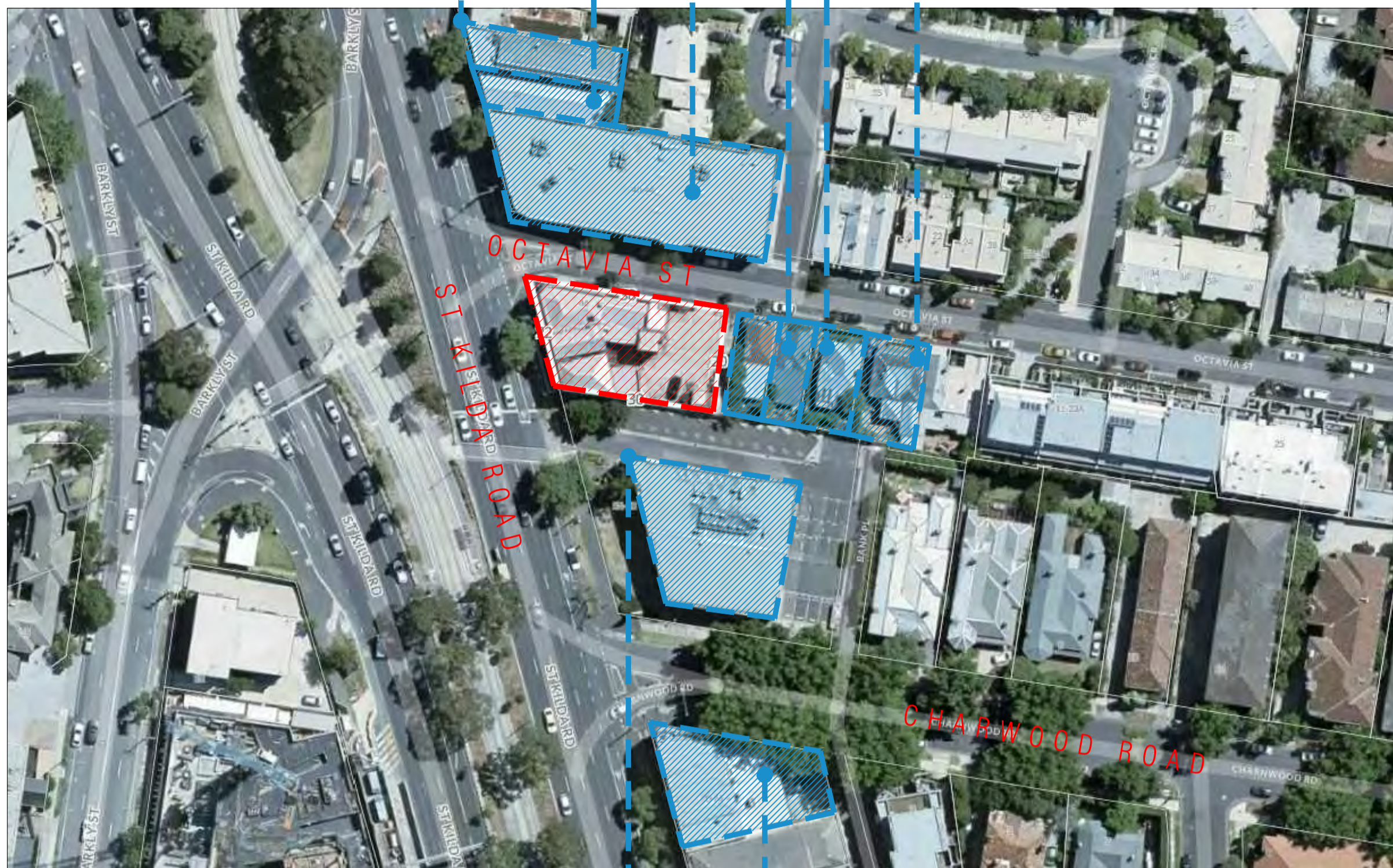
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TP-000	COVER PAGE
TP-010	NEIGHBOURHOOD & SITE DESCRIPTION
TP-011	DEMOLITION PLAN
TP-020	DESIGN RESPONSE 01 - ROOF PLAN
TP-021	DESIGN RESPONSE 02 - RENDER 1
TP-022	DESIGN RESPONSE 03 - RENDER 2
TP-023	DESIGN RESPONSE 04 - STREETSCAPE
TP-024	DESIGN RESPONSE 05 - STREETSCAPE
TP-025	DESIGN RESPONSE 06 - SECTIONS
TP-150	PROPOSED BASEMENT 1
TP-151	PROPOSED BASEMENT 2
TP-100	PROPOSED GROUND FLOOR PLAN
TP-101	PROPOSED L1 PLAN
TP-102	PROPOSED L2 PLAN
TP-103	PROPOSED L3 PLAN
TP-104	PROPOSED L4 PLAN
TP-105	PROPOSED L5 PLAN
TP-106	PROPOSED L6 PLAN
TP-107	PROPOSED L7 PLAN
TP-108	PROPOSED L8 PLAN
TP-109	PROPOSED ROOF PLAN
TP-400	NORTH ELEVATION
TP-401	EAST & WEST ELEVATIONS
TP-402	SOUTH ELEVATION
TP-500	SECTIONS - RAMP & CAR STACKER SECTIONS
TP-900	SHADOW DIAGRAMS - 9AM & 10AM 22 SEP
TP-901	SHADOW DIAGRAMS - 11AM & 12PM 22 SEP
TP-902	SHADOW DIAGRAMS - 1PM & 2PM 22 SEP
TP-903	SHADOW DIAGRAM - 3PM 22 SEP



AERIAL IMAGE
NTS

REV	DATE	DESCRIPTION	CHECKED	REV	DATE	DESCRIPTION	CHECKED
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B	10.01.2020	ISSUE FOR RFI					

2 STOREY | 1 STOREY | 2 STOREY | 1 STOREY | 1 STOREY | 1 STOREY



2 STOREY (7 STOREY PROPOSED DEVELOPMENT) | 2 STOREY



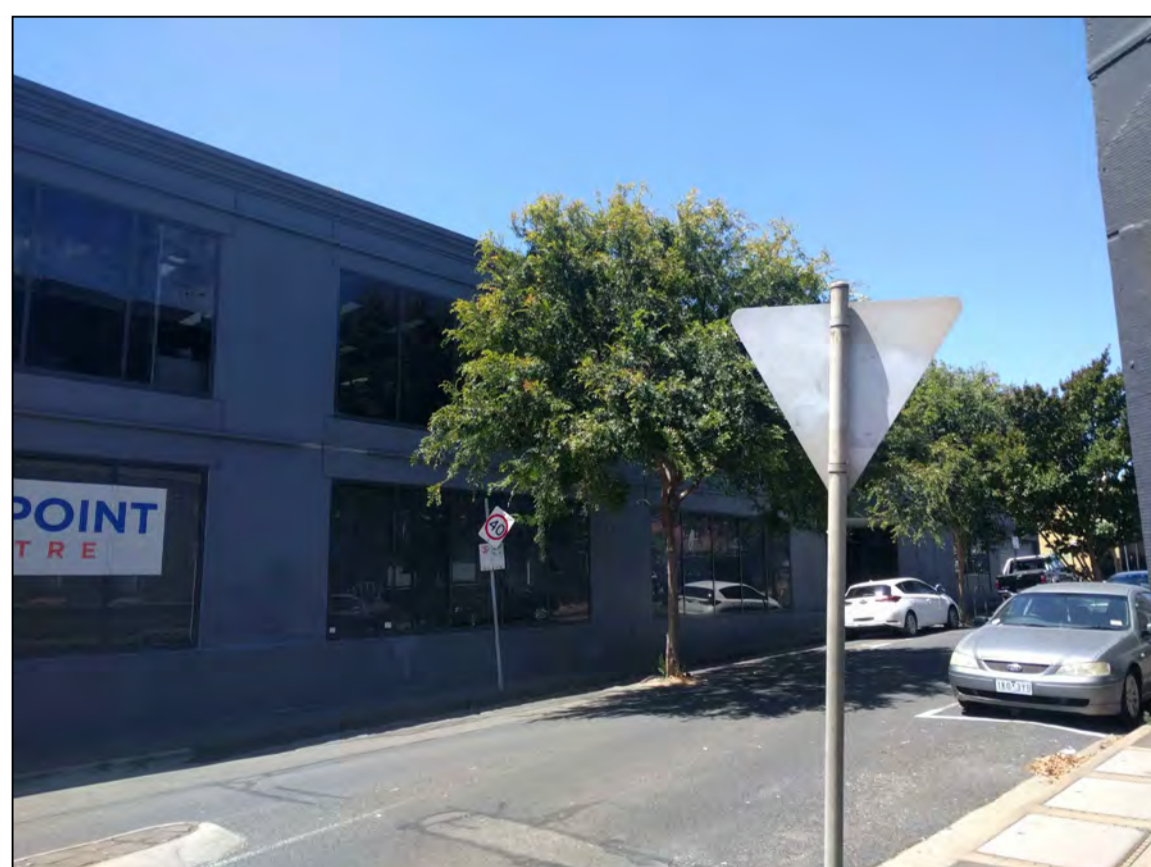
- 2.7 KM TO ALBERT PARK LAKE
- 2.3 KM TO ALFRED HOSPITAL
- 2.1 KM TO ST KILDA BEACH
- 1.4 KM TO ST KILDA PARK PRIMARY SCHOOL
- 1.6 KM TO VICTORIAN COLLEGE FOR THE DEAF
- 3.9 KM TO MELBOURNE HIGH SCHOOL



VIEW FROM SUBJECT SITE TOWARD ST KILDA ROAD



VIEW FROM OCTAVIA STREET TOWARD SUBJECT SITE

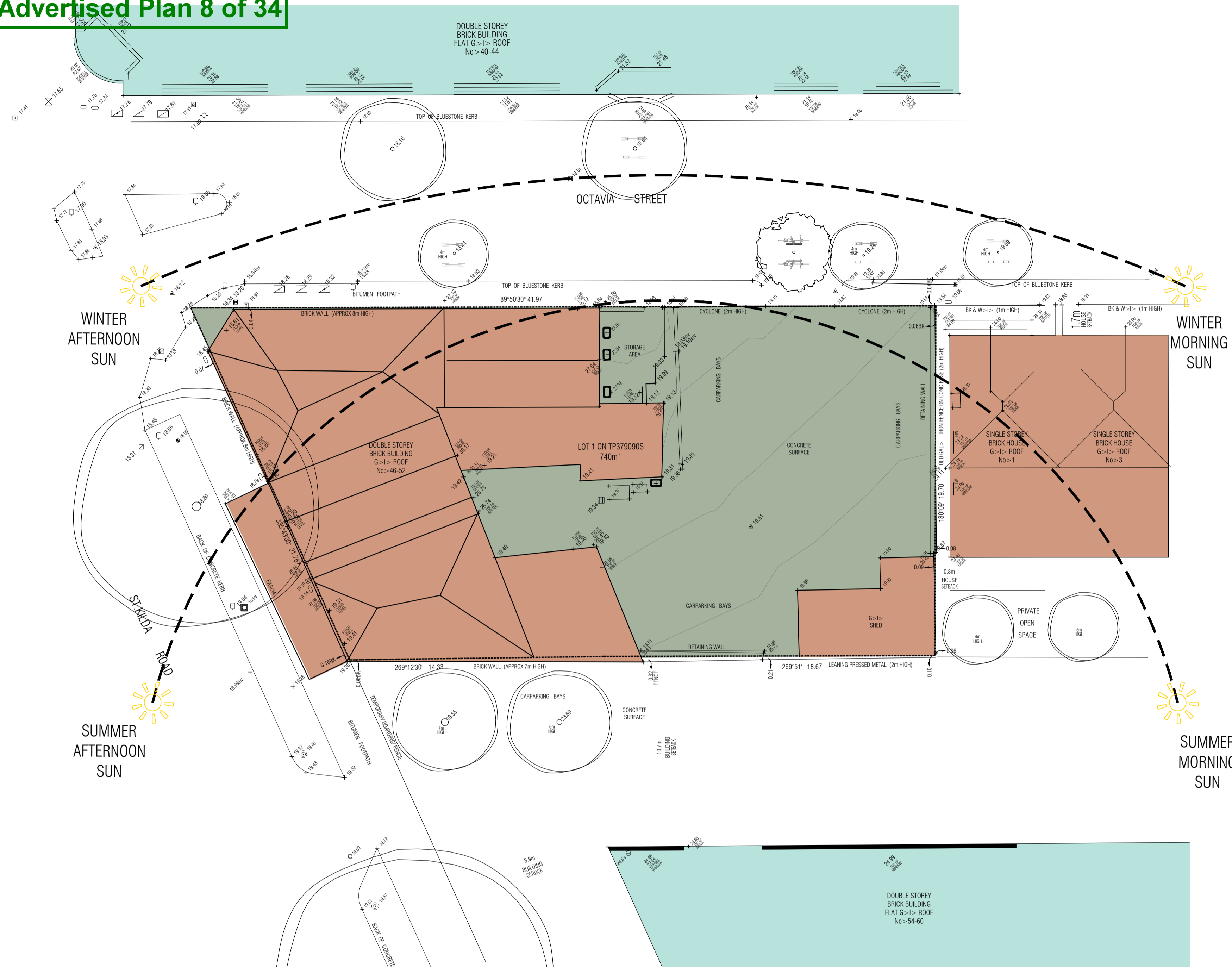


VIEW FROM SUBJECT SITE TOWARD OCTAVIA STREET



VIEW FROM ST KILDA ROAD TOWARD SUBJECT SITE

City of Port Phillip Advertised Plan 8 of 34



- SUBJECT SITE
- COMMERCIAL BUILDINGS
- RESIDENTIAL BUILDINGS
- TO BE DEMOLISHED



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PROJECT
46-52 ST KILDA ROAD
46-52 ST KILDA ROAD
ST KILDA
VIC 3182

TOWN PLANNING

DRAWING TITLE
NEIGHBOURHOOD AND SITE DESCRIPTION

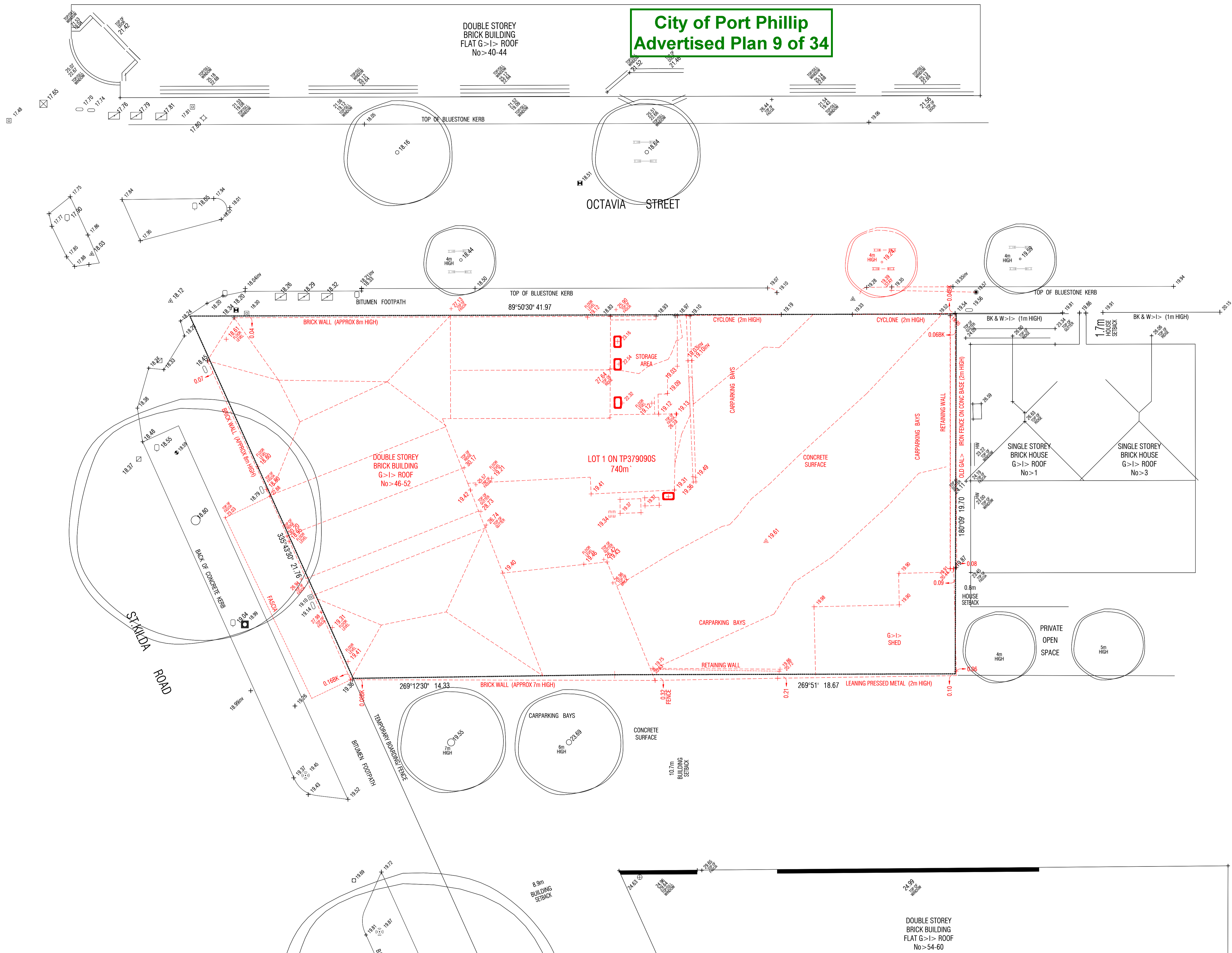
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DATE: APRIL 2019
PROJECT NO:
18121

DRAWING ISSUE
PRELIMINARY

DRAWING No
TP-010B

**City of Port Phillip
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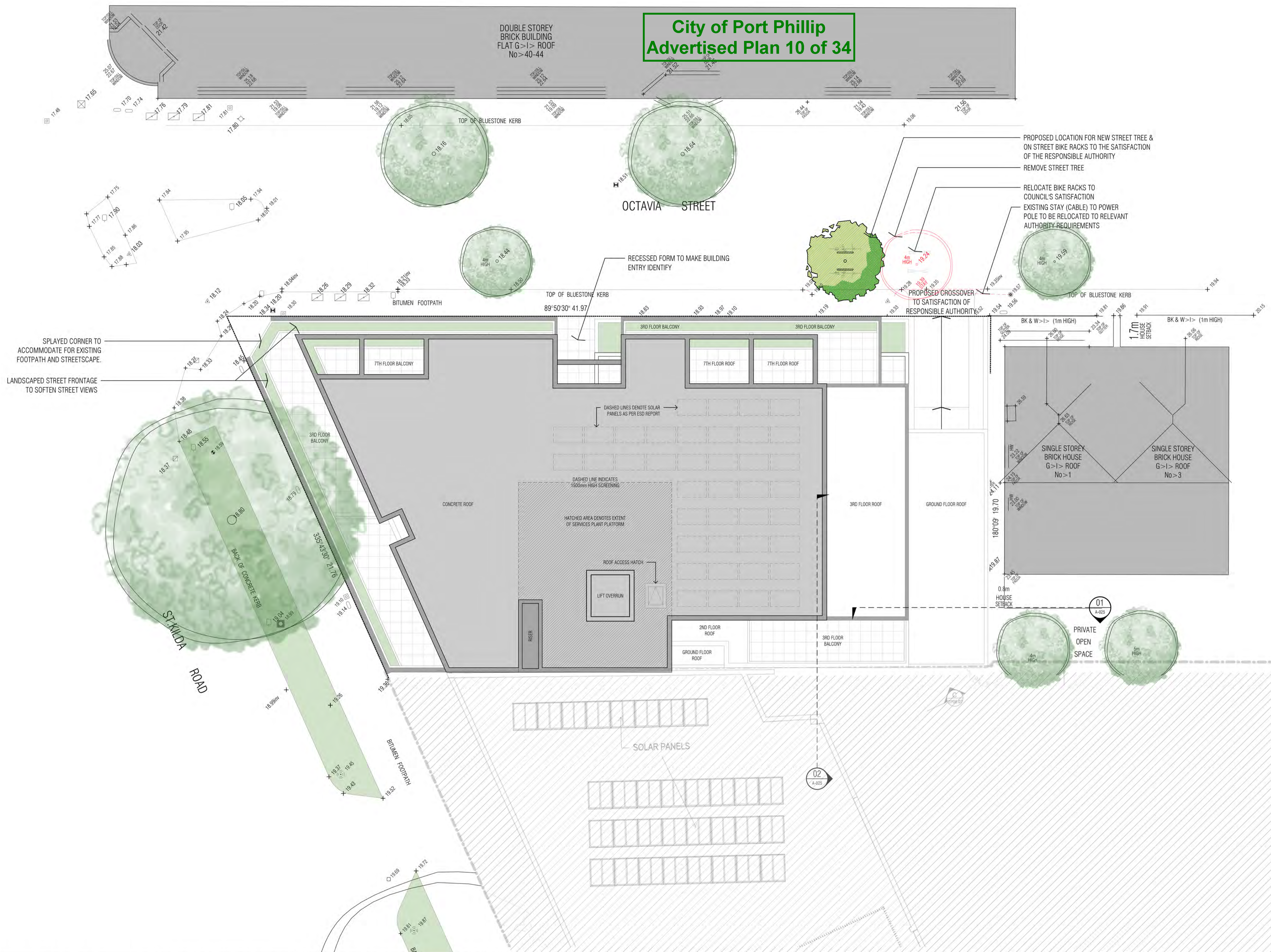
PROJECT
46-52 ST KILDA ROAD
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TOWN PLANNING
DRAWING TITLE
DEMOLITION PLAN
SCALE: 1:100
PAGE: A1
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DRAWING ISSUE
PRELIMINARY

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DOUBLE STOREY
BRICK BUILDING
FLAT G>1> ROOF
No >40-44



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PROJECT
46-52 ST KILDA ROAD
46-52 ST KILDA ROAD
ST KILDA
VIC 3182

TOWN PLANNING DRAWINGS
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DRAWING ISSUE
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City of Port Phillip
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01 ST KILDA ROAD VIEW NTS

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ST KILDA
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TOWN PLANNING DRAWINGS
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Advertised Plan 12 of 34



01 OCTAVIA STREET VIEW NTS

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46-52 ST KILDA ROAD
46-52 ST KILDA ROAD
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TOWN PLANNING DRAWINGS
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DATE: APRIL 2019
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**City of Port Phillip
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01 EXISTING STREETSCAPE NTS



02 PROPOSED STREETSCAPE NTS

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TOWN PLANNING DRAWINGS
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DATE: APRIL 2019
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18121
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SUBJECT SITE - OCTAVIA STREET

01 EXISTING STREETSCAPE NTS



SUBJECT SITE - OCTAVIA STREET

02 PROPOSED STREETSCAPE NTS

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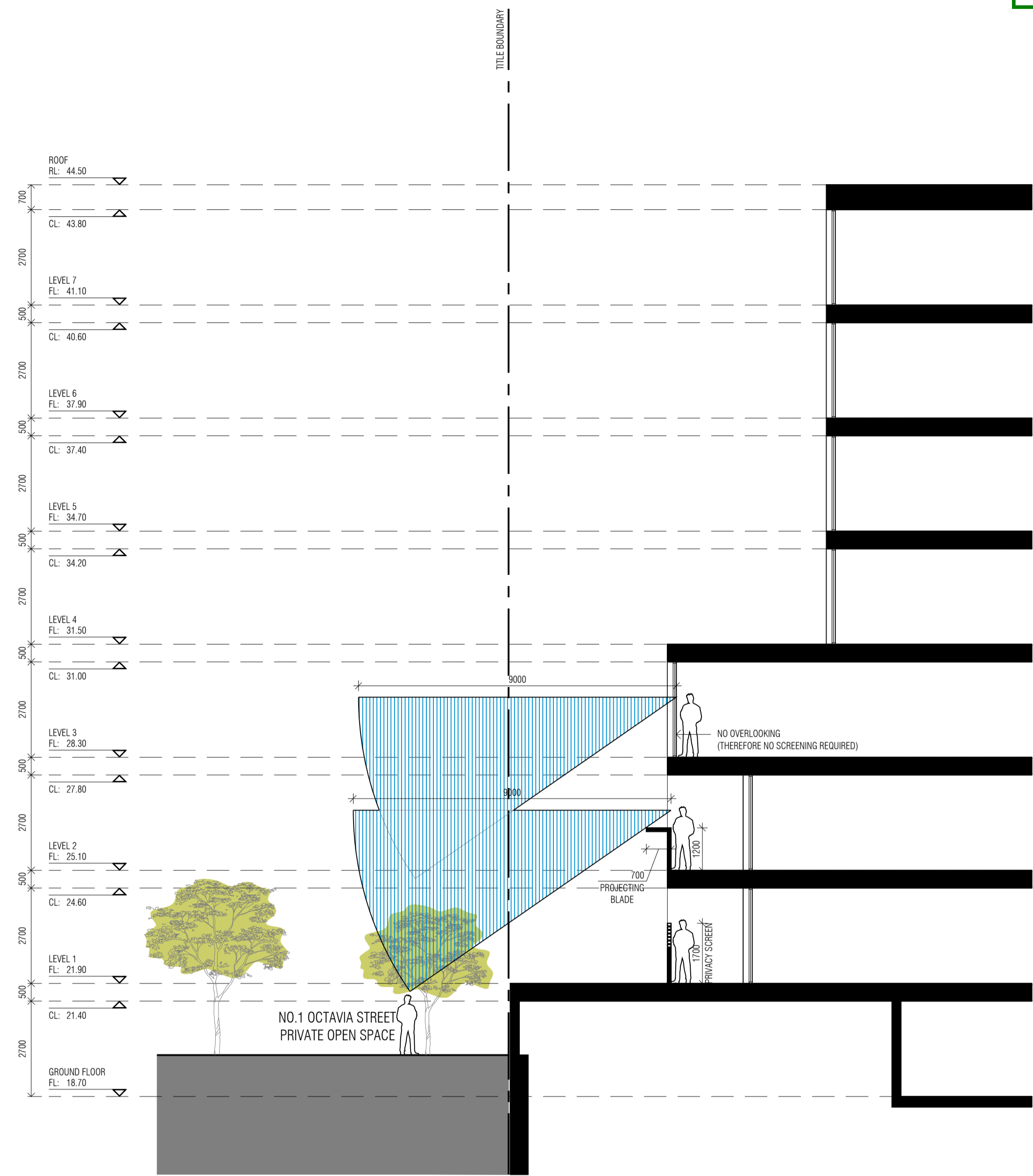
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PROJECT
46-52 ST KILDA ROAD
ST KILDA
VIC 3182

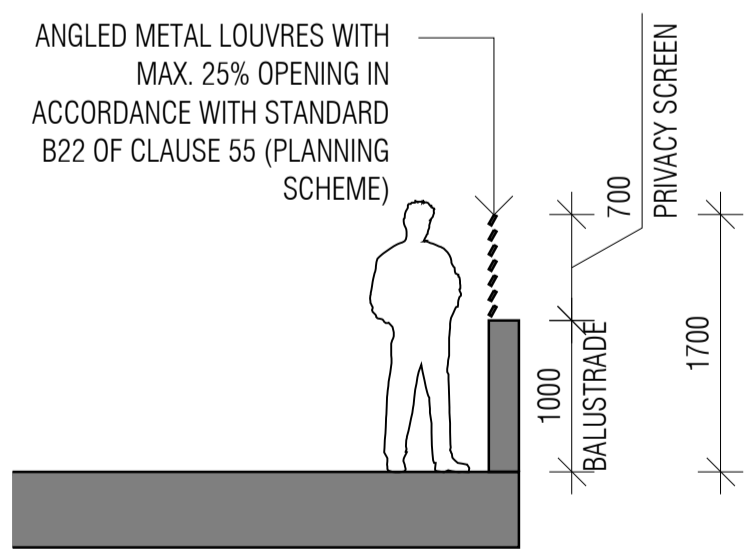
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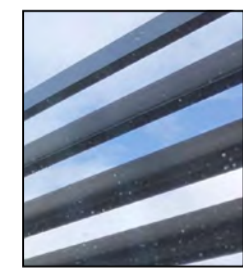
54-60 ST KILDA ROAD
(APPROVED DEVELOPMENT - INDICATIVE)



1 SECTION

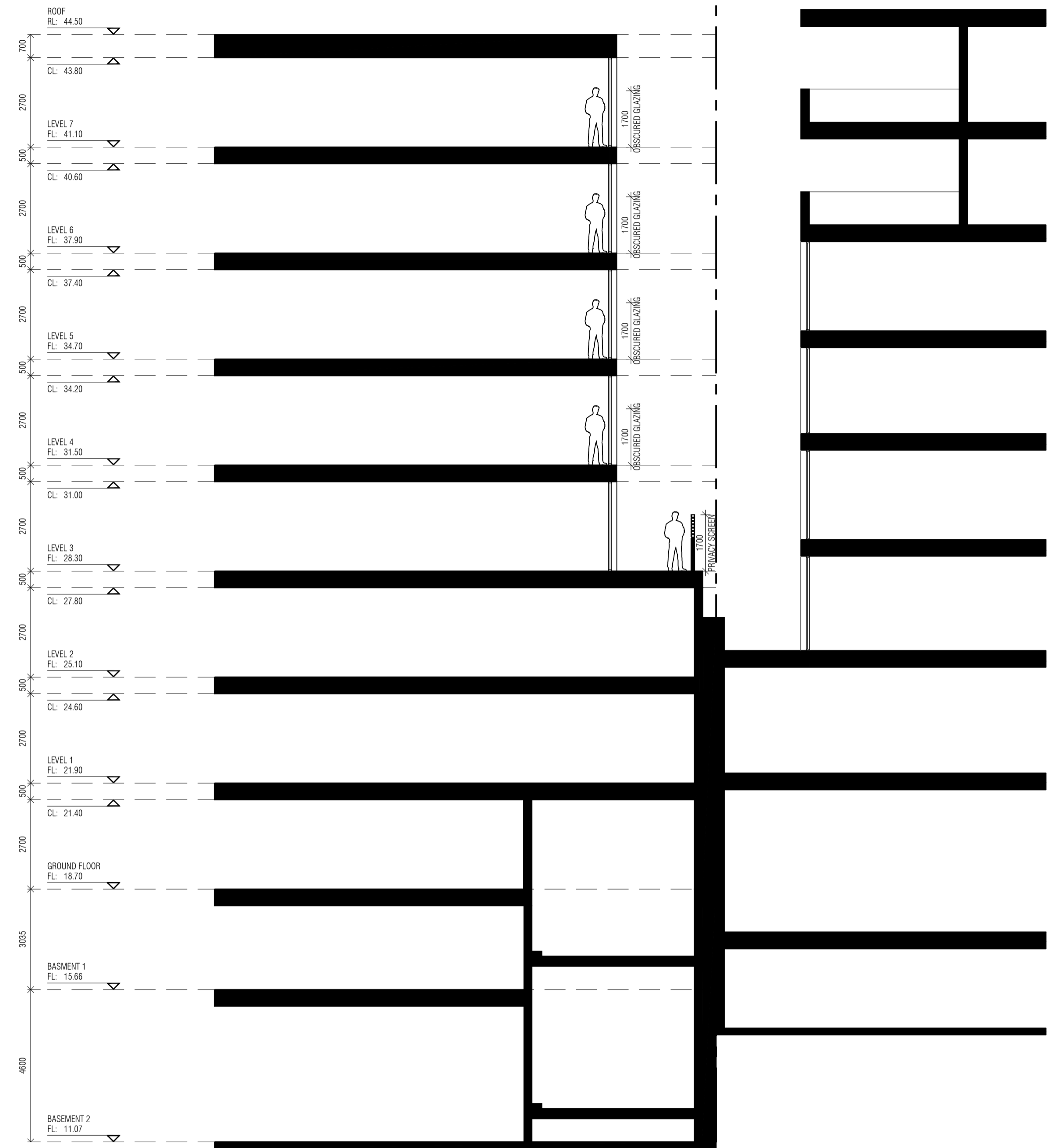


- PRIVACY SCREEN (SECTION)



- PRIVACY SCREEN (EXAMPLE)

3 PRIVACY SCREEN DETAILS



2 SECTION

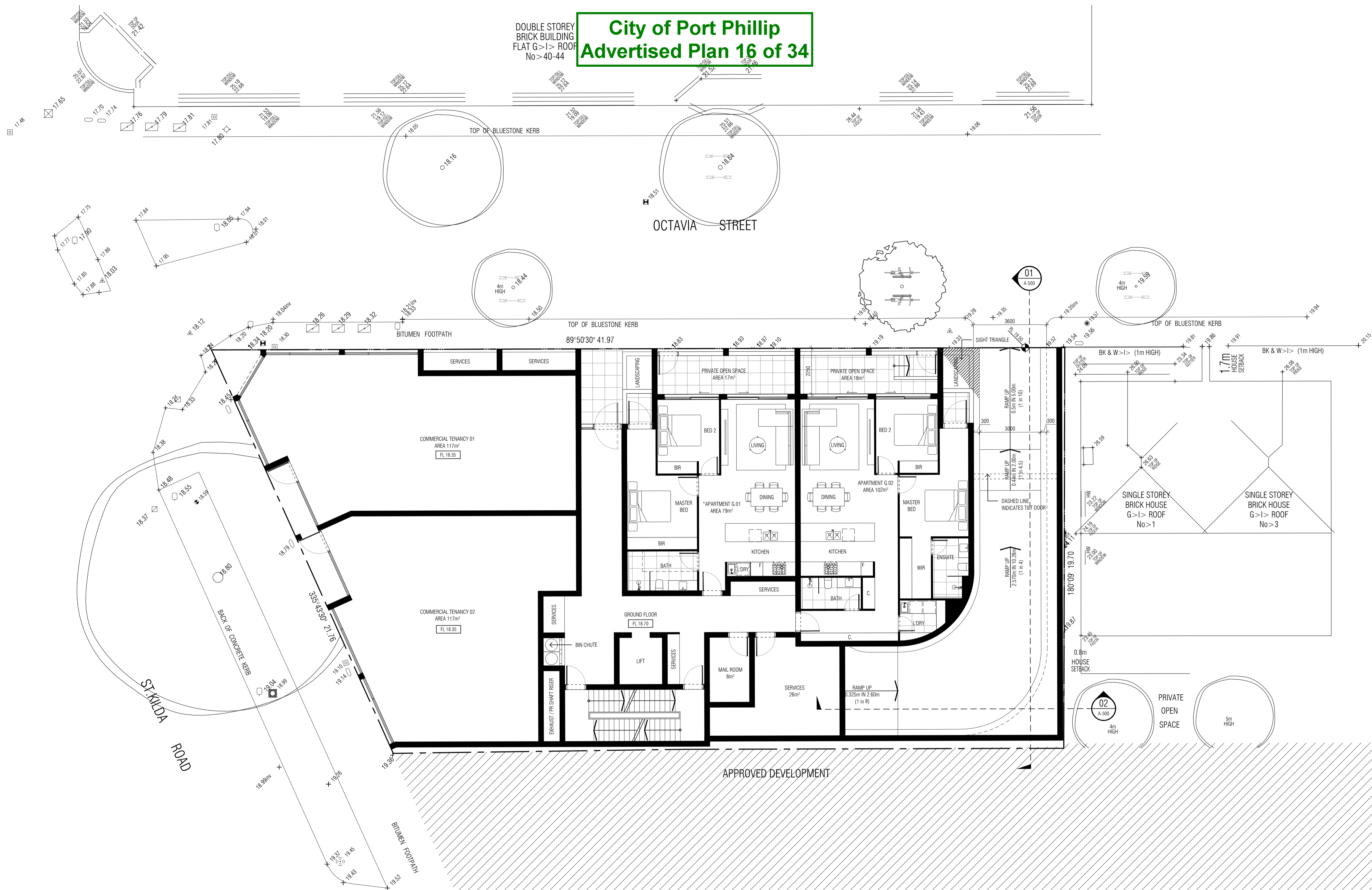
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B	10.01.2020	ISSUE FOR RFI					

PROJECT	46-52 ST KILDA ROAD
	46-52 ST KILDA ROAD ST KILDA VIC 3182

TOWN PLANNING DRAWINGS	
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DRAWING ISSUE	PRELIMINARY
DATE:	APRIL 2019
PROJECT NO:	18121
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TP-025B	

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DOUBLE STOREY
BRICK BUILDING
FLAT G>1> ROOF
No>40-44



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A	11.04.2019	ISSUE FOR TOWN PLANNING	CT				
B	10.01.2020	ISSUE FOR RFI					

NOTE:

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- 1 BEDROOM DWELLING: 6m³ MINIMUM INTERNAL STORAGE
- 2 BEDROOM DWELLING: 9m³ MINIMUM INTERNAL STORAGE
- 3 BEDROOM DWELLING: 12m³ MINIMUM INTERNAL STORAGE
- CORRIDOR WIDTH TO COMPLY WITH NCC REQUIREMENTS.

PROJECT
46-52 ST KILDA ROAD
46-52 ST KILDA ROAD
ST KILDA
VIC 3182

TOWN PLANNING DRAWINGS

DRAWING TITLE
PLAN _ GROUND FLOOR

SCALE: 1:100
PAGE: A1
DRAWN: AZ

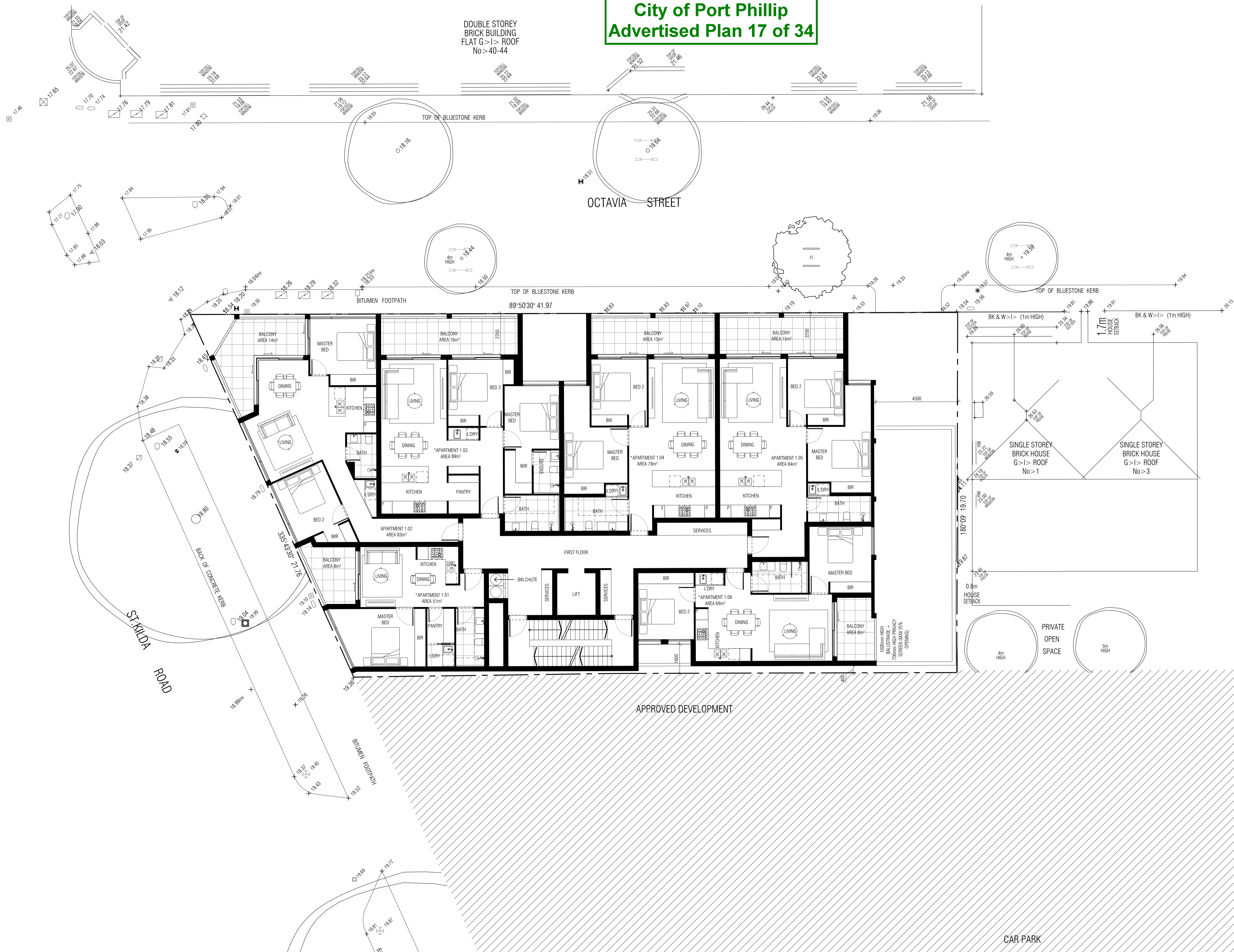
DATE: APRIL 2019
PROJECT NO:
18121

DRAWING ISSUE
PRELIMINARY

DRAWING No
TP-100B

**City of Port Phillip
Advertised Plan 17 of 34**

DOUBLE STOREY
BRICK BUILDING
FLAT G>I> ROOF
No>40-44



**E W E R T
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 - CORRIDOR WIDTH TO COMPLY WITH NCC REQUIREMENTS.

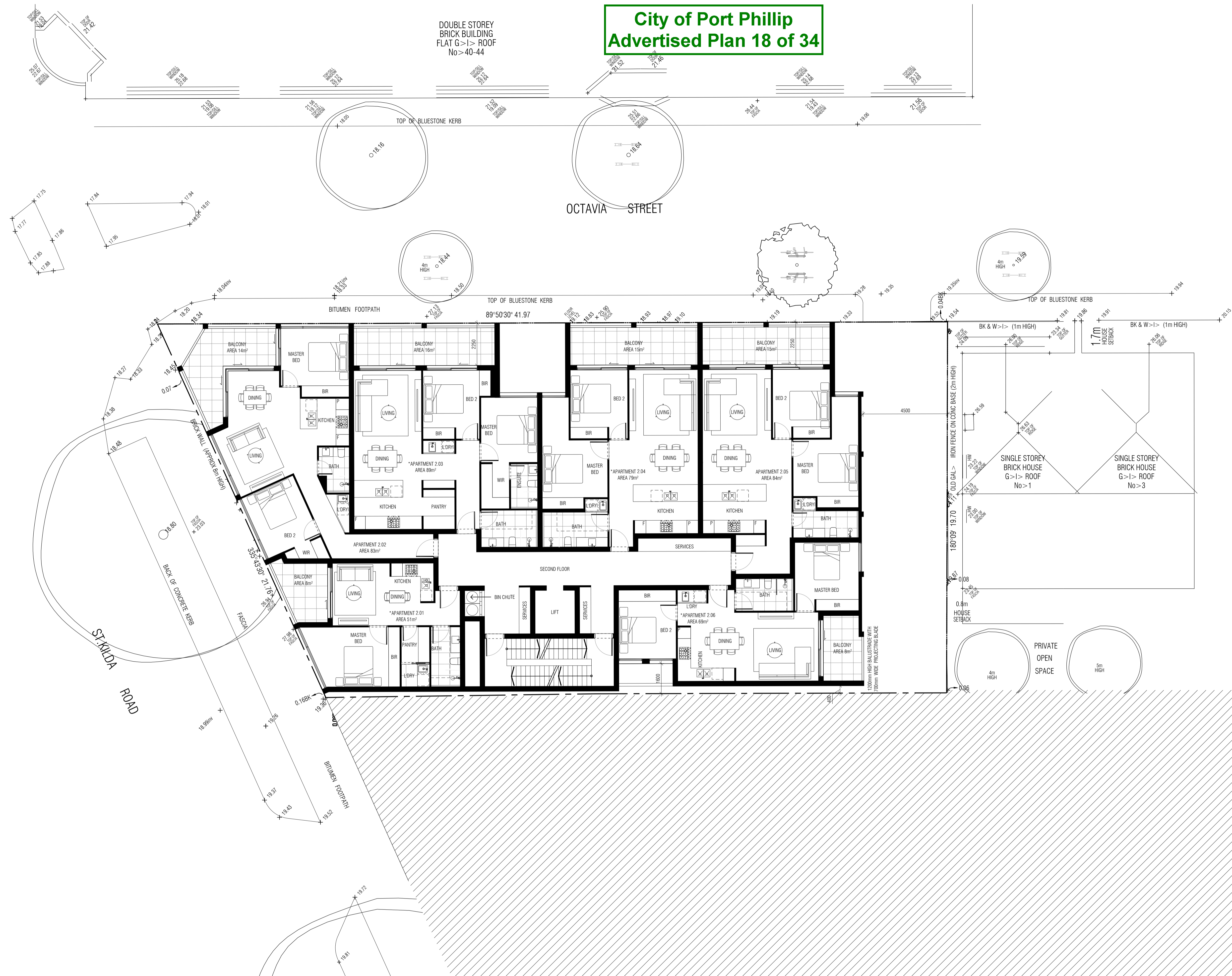
PROJECT
46-52 ST KILDA ROAD
46-52 ST KILDA ROAD
ST KILDA
VIC 3182

TOWN PLANNING DRAWINGS
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SCALE: 1:100
PAGE: A1
DRAWN: AZ
DRAWING ISSUE
PRELIMINARY

DATE: APRIL 2019
PROJECT NO:
AZ18121
DRAWING No
TP-101B

**City of Port Phillip
Advertised Plan 18 of 34**

DOUBLE STOREY
BRICK BUILDING
FLAT G>I> ROOF
No>40-44



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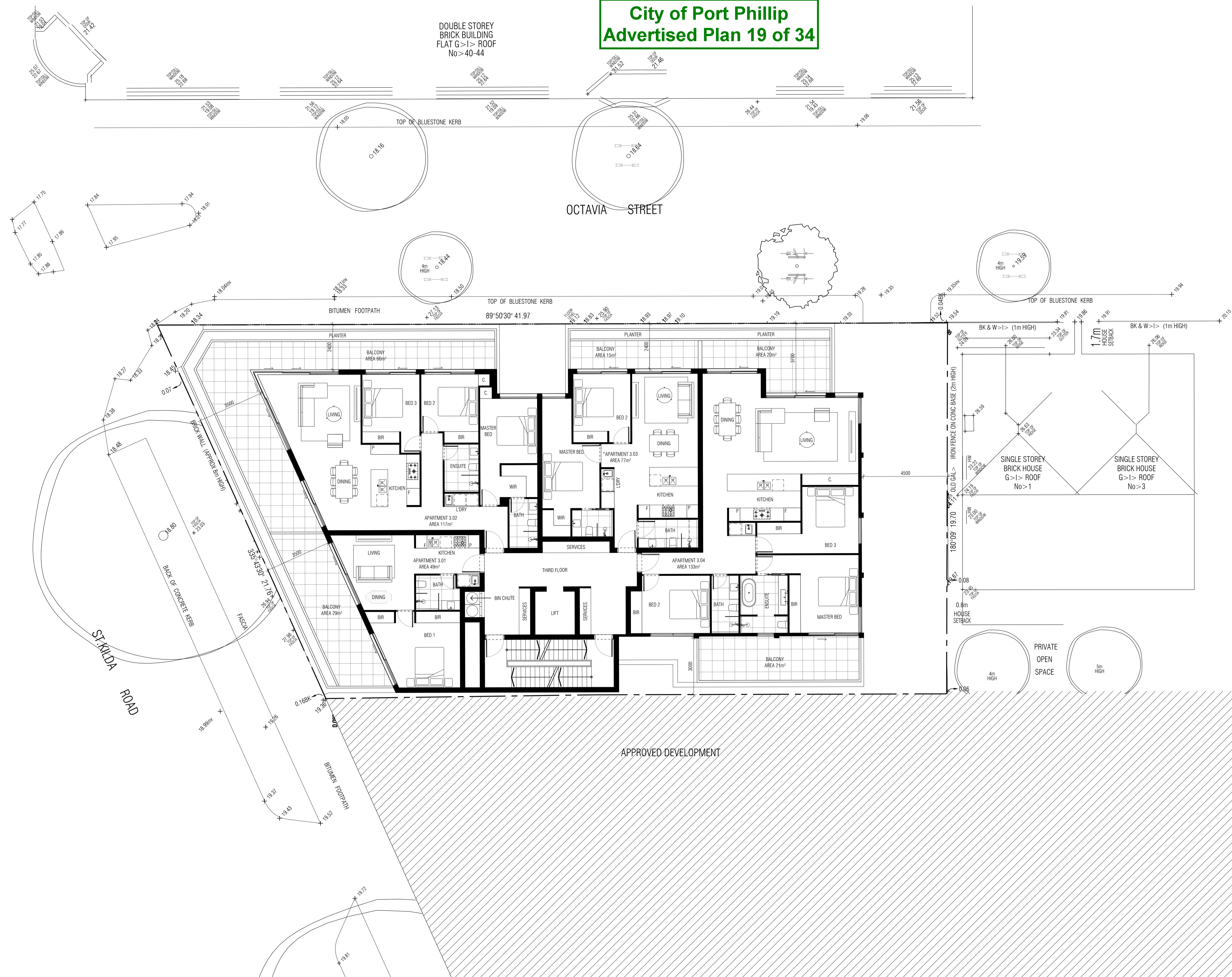
PROJECT
46-52 ST KILDA ROAD
46-52 ST KILDA ROAD
ST KILDA
VIC 3182

TOWN PLANNING DRAWINGS
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SCALE: 1:100
PAGE: A1
DRAWN: AZ
DRAWING ISSUE
PRELIMINARY

DATE: APRIL 2019
PROJECT NO:
18121
DRAWING No
TP-102B

**City of Port Phillip
Advertised Plan 19 of 34**

DOUBLE STOREY
BRICK BUILDING
FLAT G>1> ROOF
No>40-44



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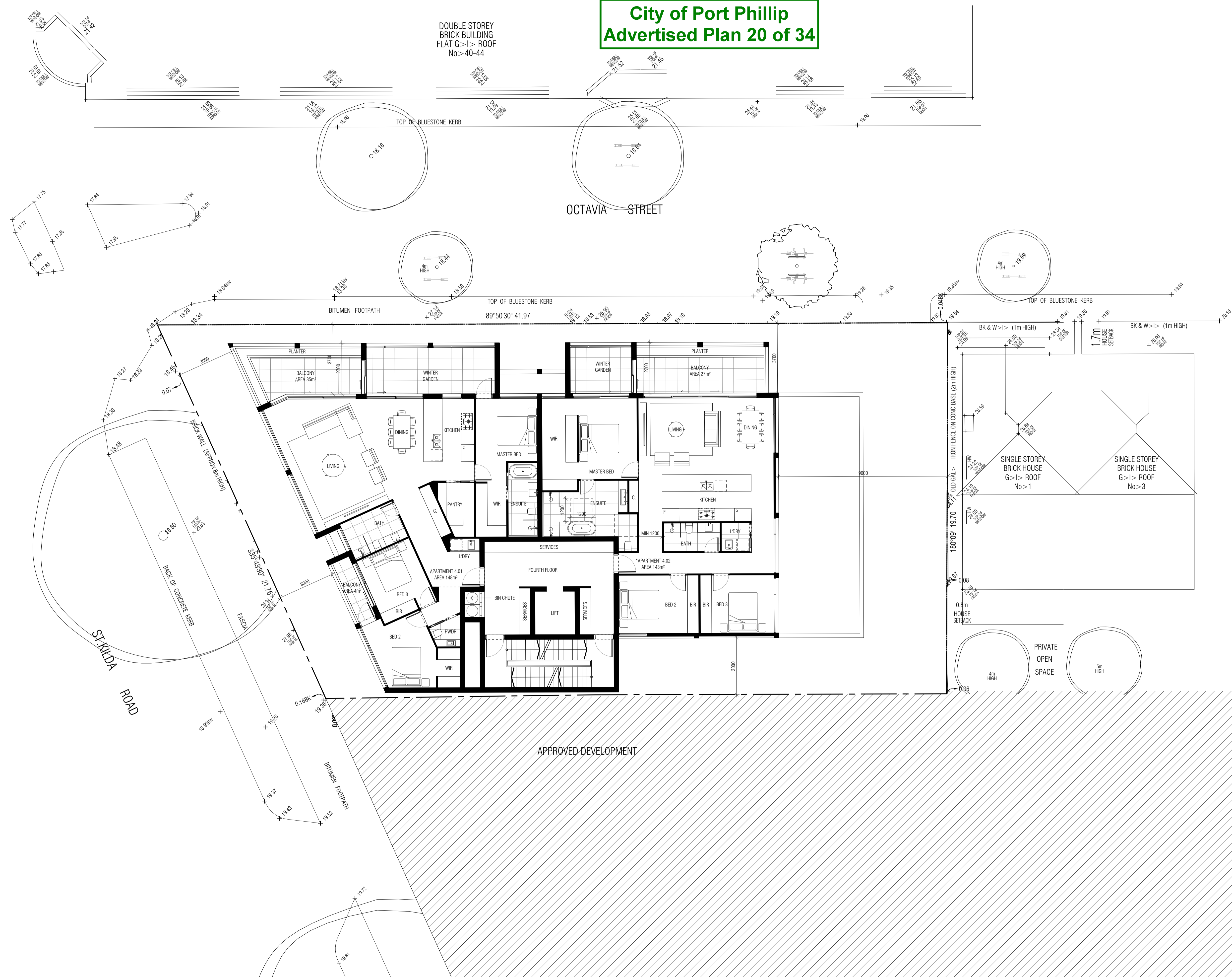
PROJECT
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46-52 ST KILDA ROAD
ST KILDA
VIC 3182

TOWN PLANNING DRAWINGS
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SCALE: 1:100
PAGE: A1
DRAWN: AZ
DRAWING ISSUE
PRELIMINARY

DATE: APRIL 2019
PROJECT NO:
18121
DRAWING No
TP-103B

**City of Port Phillip
Advertised Plan 20 of 34**

DOUBLE STOREY
BRICK BUILDING
FLAT G>1> ROOF
No>-40-44



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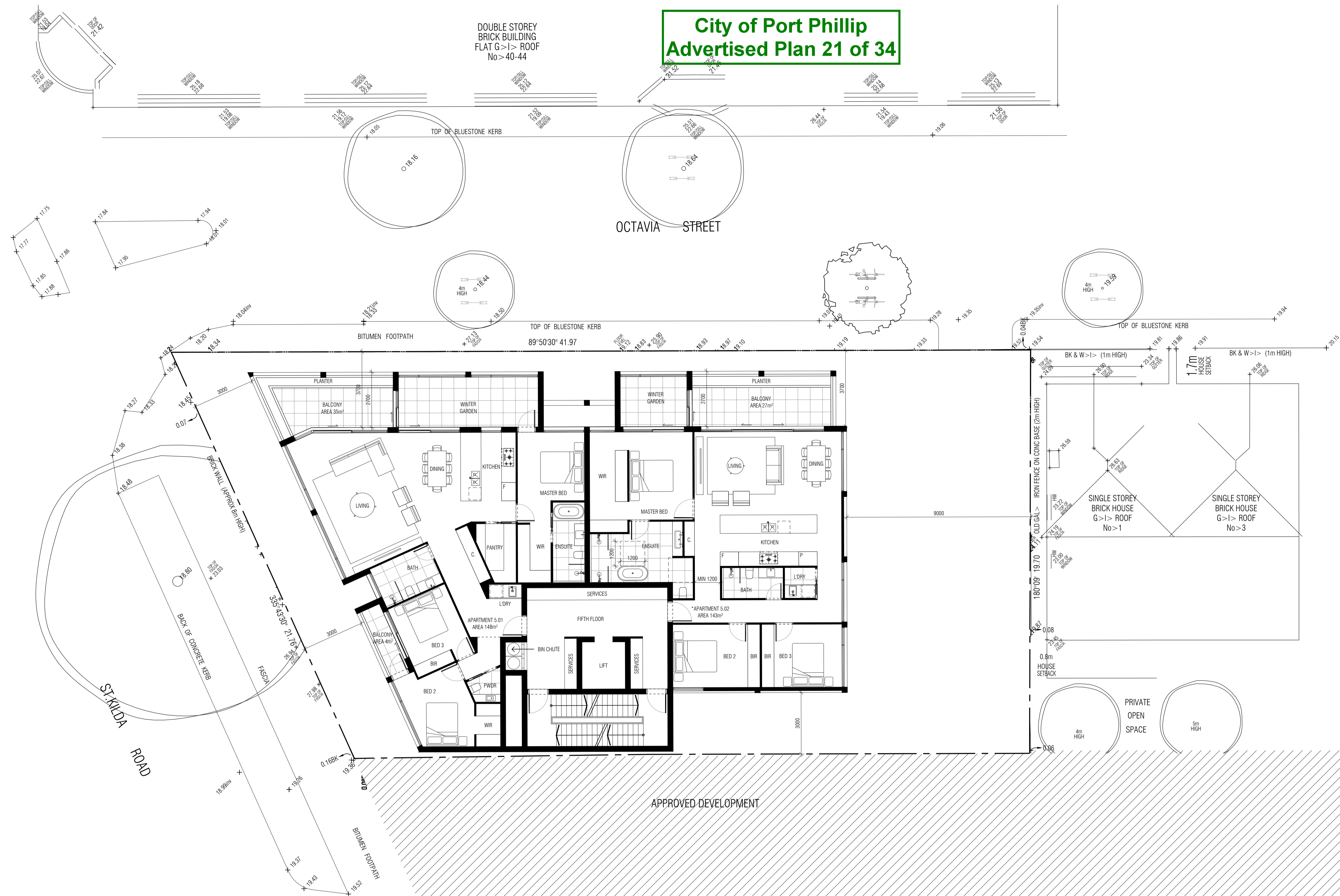
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46-52 ST KILDA ROAD
46-52 ST KILDA ROAD
ST KILDA
VIC 3182

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SCALE: 1:100
PAGE: A1
DRAWN: AZ
DRAWING ISSUE
PRELIMINARY

DATE: APRIL 2019
PROJECT NO:
18121
DRAWING No
TP-104B

**City of Port Phillip
Advertised Plan 21 of 34**

DOUBLE STOREY
BRICK BUILDING
FLAT G>1> ROOF
No>-40-44



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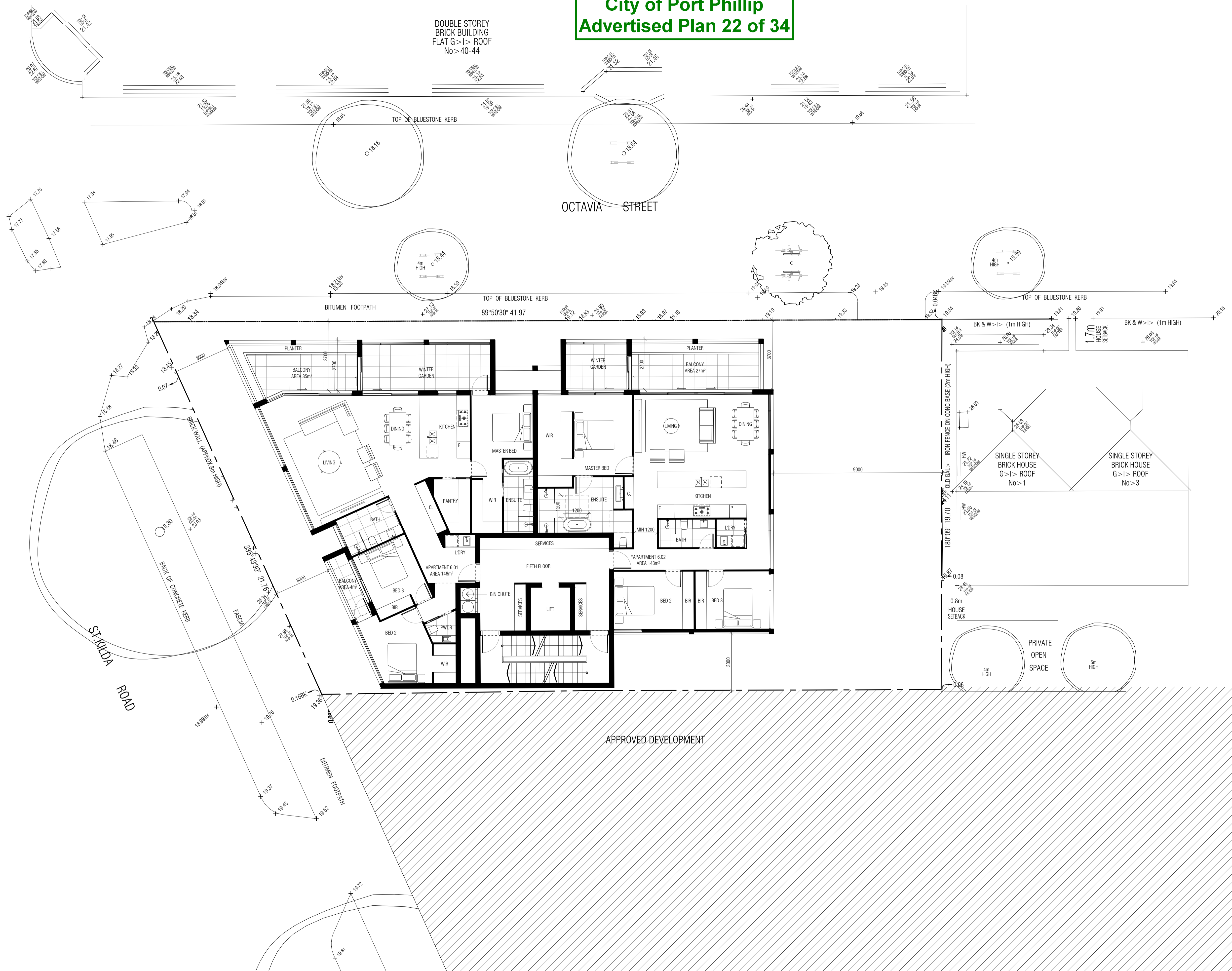
PROJECT
46-52 ST KILDA ROAD
46-52 ST KILDA ROAD
ST KILDA
VIC 3182

TOWN PLANNING DRAWINGS
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SCALE: 1:100
PAGE: A1
DRAWN: AZ
DRAWING ISSUE
PRELIMINARY

DATE: APRIL 2019
PROJECT NO:
18121
DRAWING No
TP-105B

**City of Port Phillip
Advertised Plan 22 of 34**

DOUBLE STOREY
BRICK BUILDING
FLAT G>1> ROOF
No>40-44



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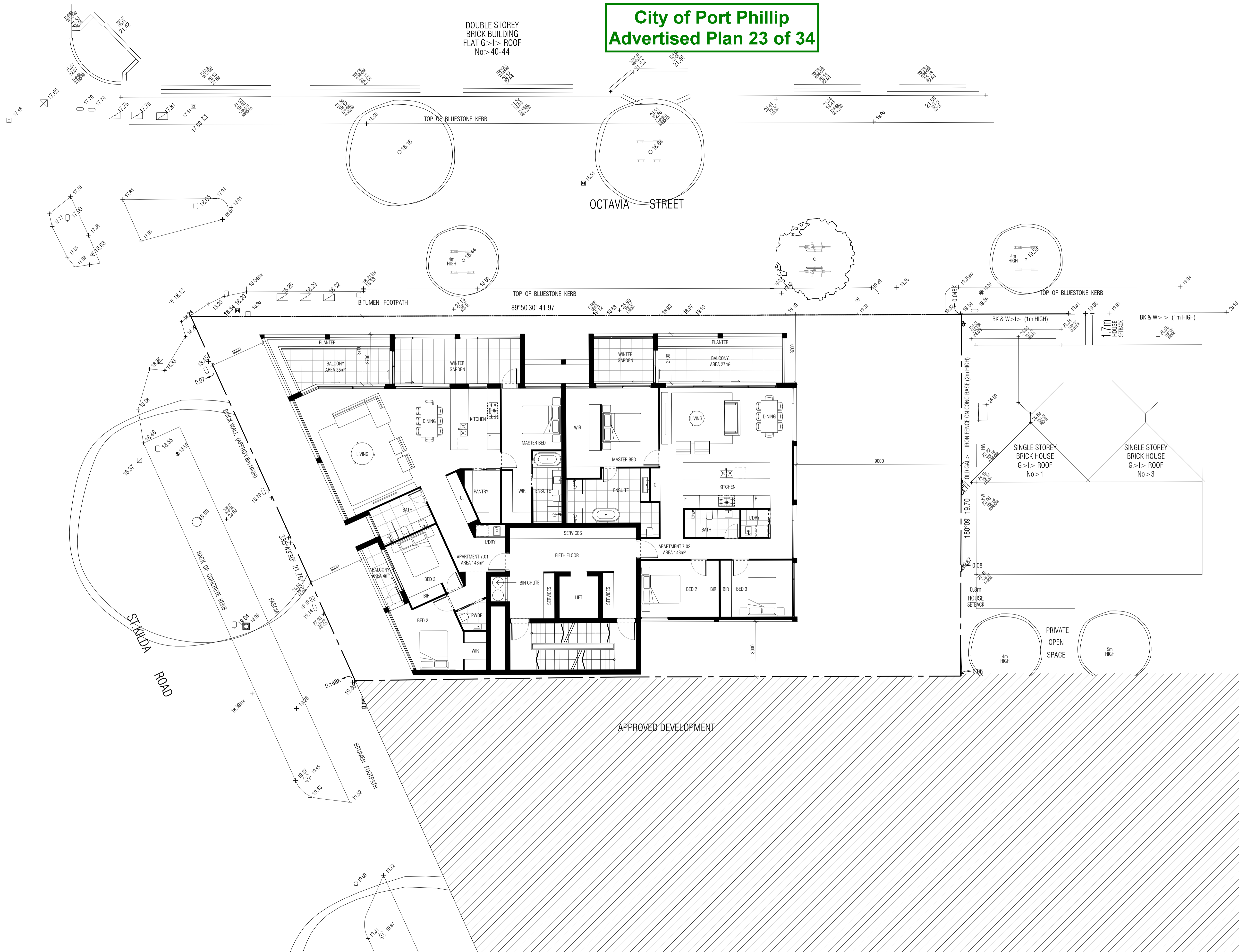
PROJECT
46-52 ST KILDA ROAD
46-52 ST KILDA ROAD
ST KILDA
VIC 3182

TOWN PLANNING DRAWINGS
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SCALE: 1:100
PAGE: A1
DRAWN: AZ
DRAWING ISSUE
PRELIMINARY

DATE: APRIL 2019
PROJECT NO:
18121
DRAWING No
TP-106B

**City of Port Phillip
Advertised Plan 23 of 34**

DOUBLE STOREY
BRICK BUILDING
FLAT G>1> ROOF
No>-40-44



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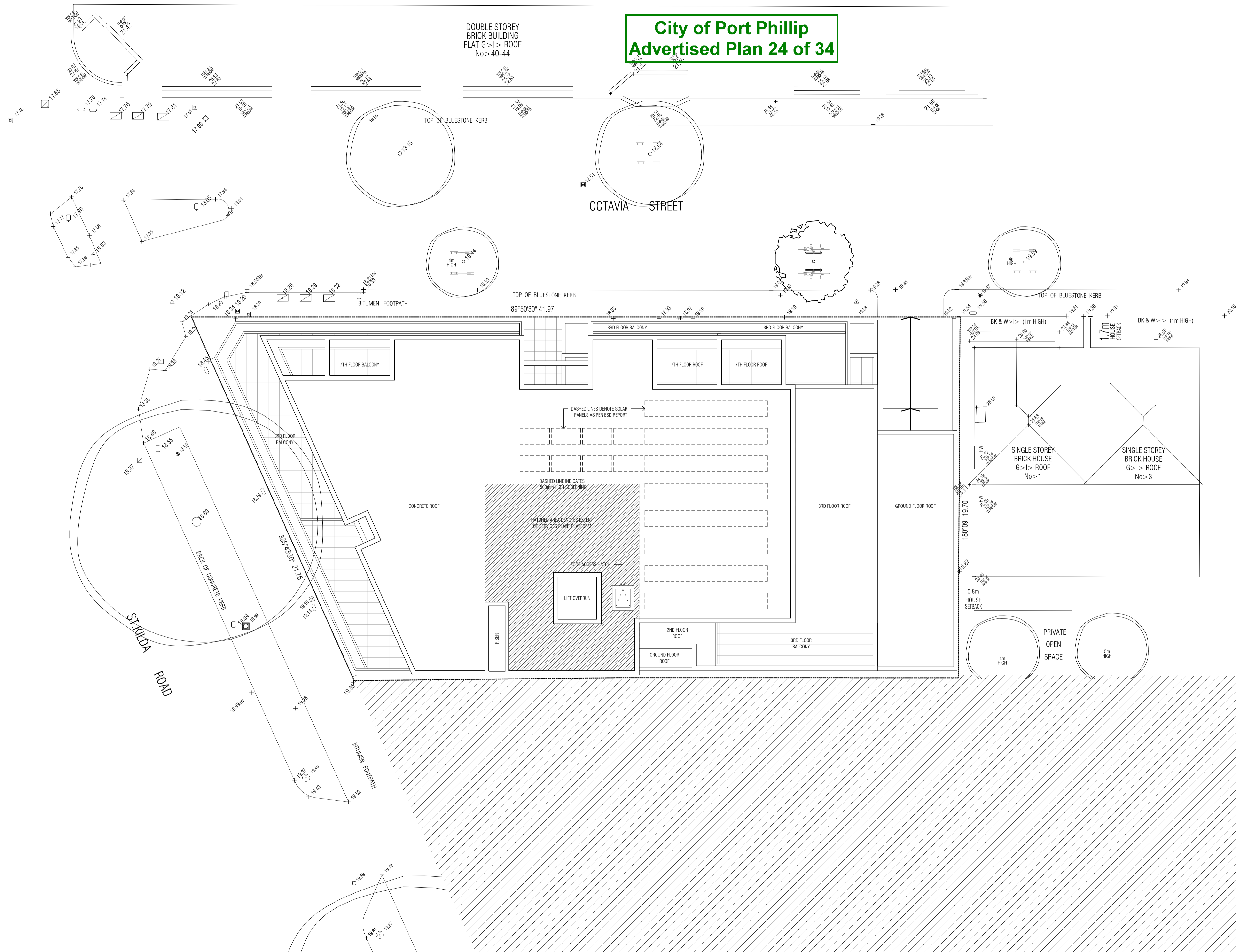
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46-52 ST KILDA ROAD
ST KILDA
VIC 3182

TOWN PLANNING DRAWINGS
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DRAWN: AZ
DRAWING ISSUE
PRELIMINARY

DATE: APRIL 2019
PROJECT NO:
18121
DRAWING No
TP-107B

City of Port Phillip
Advertised Plan 24 of 34

DOUBLE STOREY
BRICK BUILDING
FLAT G>I> ROOF
No > 40-44



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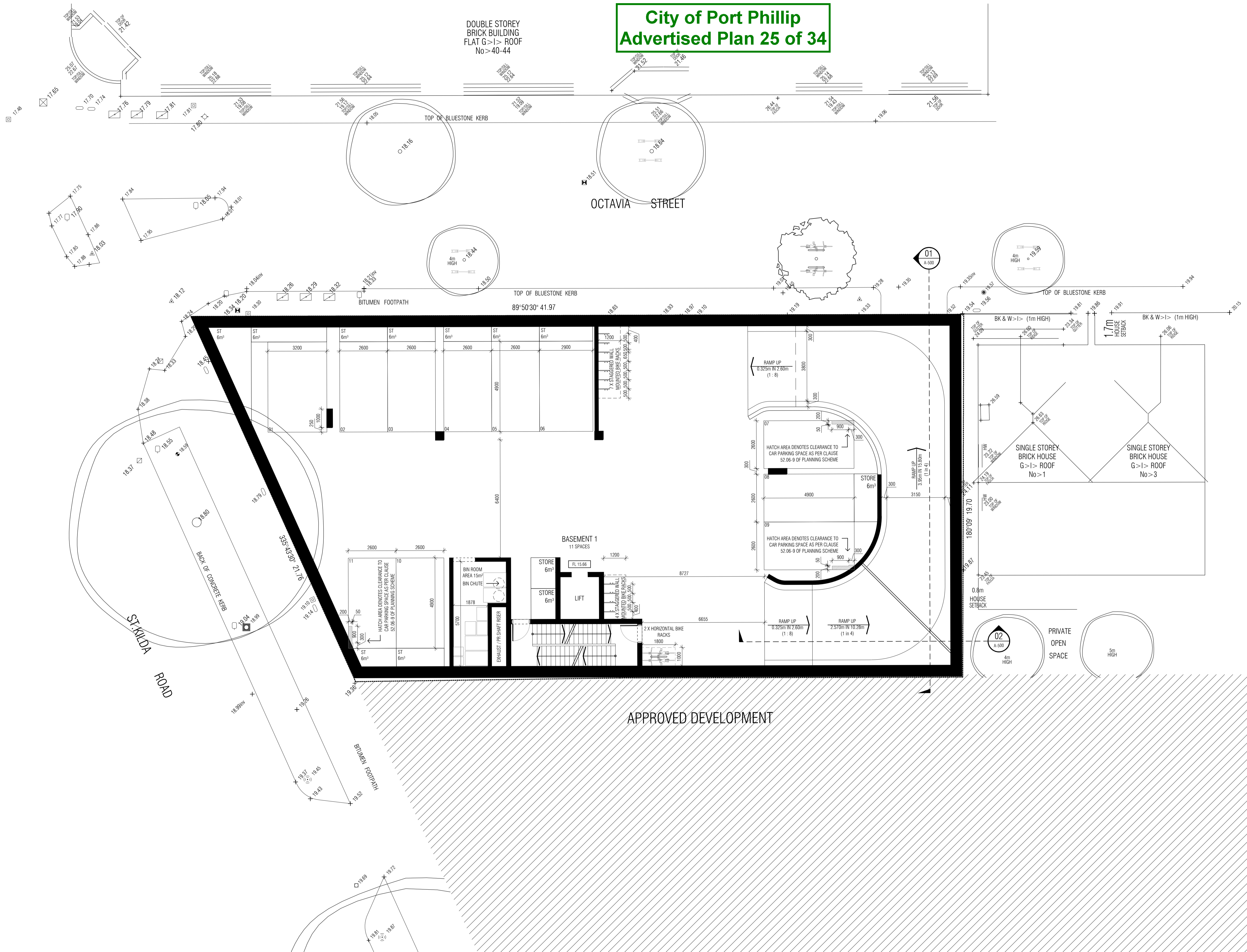
PROJECT
46-52 ST KILDA ROAD
ST KILDA
VIC 3182

TOWN PLANNING DRAWINGS
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DRAWING ISSUE
PRELIMINARY

DATE: APRIL 2019
PROJECT NO:
18121
DRAWING No
REV
TP-109 B

**City of Port Phillip
Advertised Plan 25 of 34**

DOUBLE STOREY
BRICK BUILDING
FLAT G->I> ROOF
No>40-44



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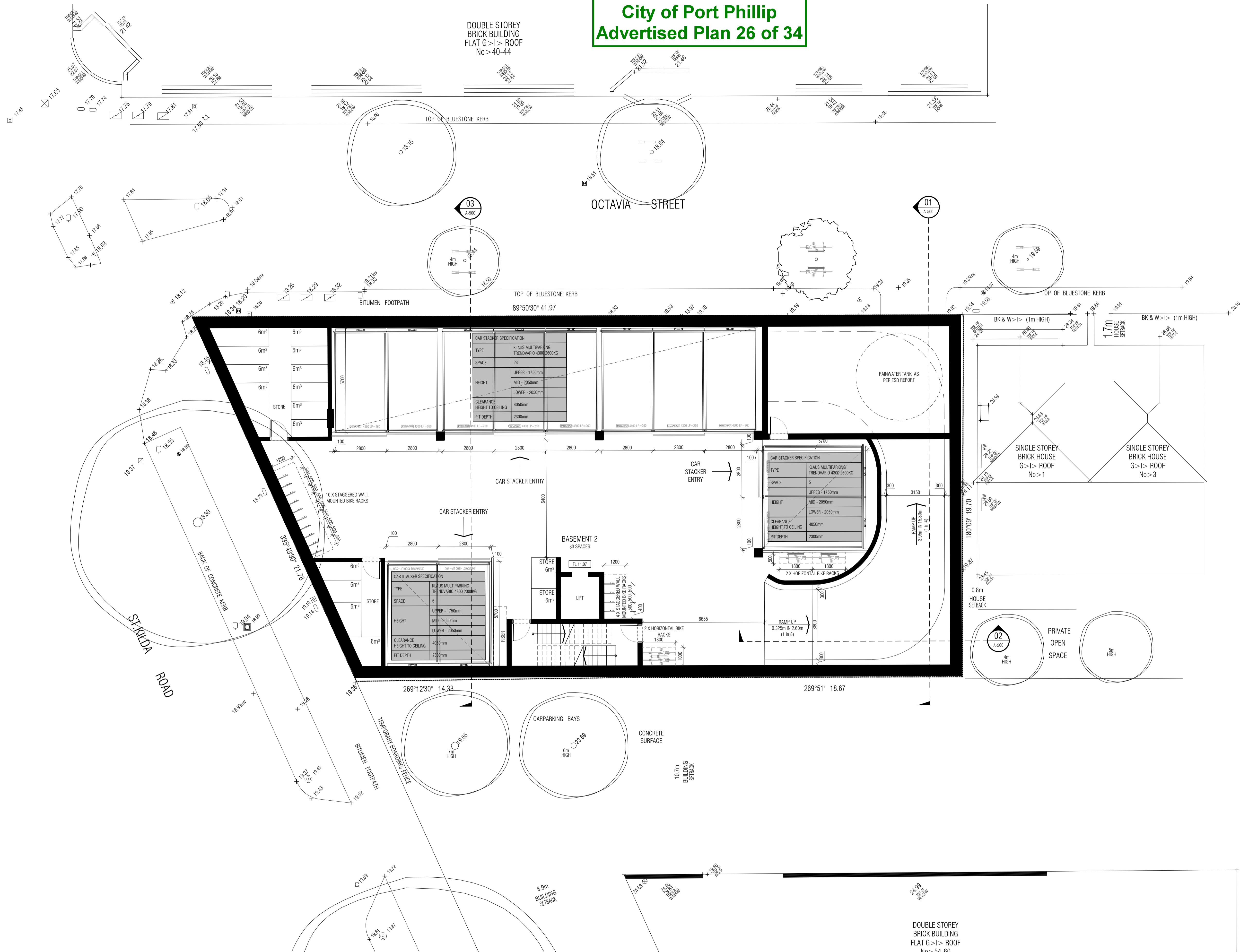
NOTE:
- ALL APARTMENTS TO HAVE MINIMUM 6m² EXTERNAL STORAGE, AS PER STANDARD D20 REQUIREMENTS.
- PROVIDE ELECTRIC CAR CHARGER TO PARKING SPACE NUMBER 01 OR 09 AS PER ESD REPORT

PROJECT
46-52 ST KILDA ROAD
46-52 ST KILDA ROAD
ST KILDA
VIC 3182

TOWN PLANNING DRAWINGS
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SCALE: 1:100
PAGE: A1
DRAWN: AZ
DRAWING ISSUE
PRELIMINARY

DATE: APRIL 2019
PROJECT NO:
18121
DRAWING No
TP-150B

**City of Port Phillip
Advertised Plan 26 of 34**



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PROJECT
46-52 ST KILDA ROAD
46-52 ST KILDA ROAD
ST KILDA
VIC 3182

TOWN PLANNING DRAWINGS
DRAWING TITLE
PLAN _ BASEMENT 2
SCALE: 1:100
PAGE: A1
DRAWN: AZ
DRAWING ISSUE
PRELIMINARY

DATE: APRIL 2019
PROJECT NO:
18121
DRAWING No
TP-151B

City of Port Phillip Advertised Plan 27 of 34

EXTERNAL FINISHES LEGEND:
REFER TO FINISHES SPECIFICATION FOR FURTHER PRODUCT DETAILS

BAL 01	TERRACOTTA CLADDING (COLOUR: LIGHT GREY)
BAL 02	GLASS BALUSTRADE
CON 01	CONCRETE (COLOUR: LIGHT GREY)
MET 01	METAL CLADDING (COLOUR: GREY)
REN 01	RENDER (COLOUR: WHITE)
STL 01	FEATURE METAL DETAILING (COLOUR: GREY)
SCR 01	BIFOLD METAL SCREENING (COLOUR: GREY)
SCR 02	HORIZONTAL LOUVERS SCREENING (MAX 25% OPENING)



1 NORTH ELEVATION

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PROJECT
46-52 ST KILDA ROAD
ST KILDA
VIC 3182

TOWN PLANNING DRAWINGS
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SCALE: 1:100
PAGE: A1
DRAWN: AZ
PRELIMINARY

DATE: APRIL 2019
PROJECT NO: 18121
DRAWING No: TP-400B

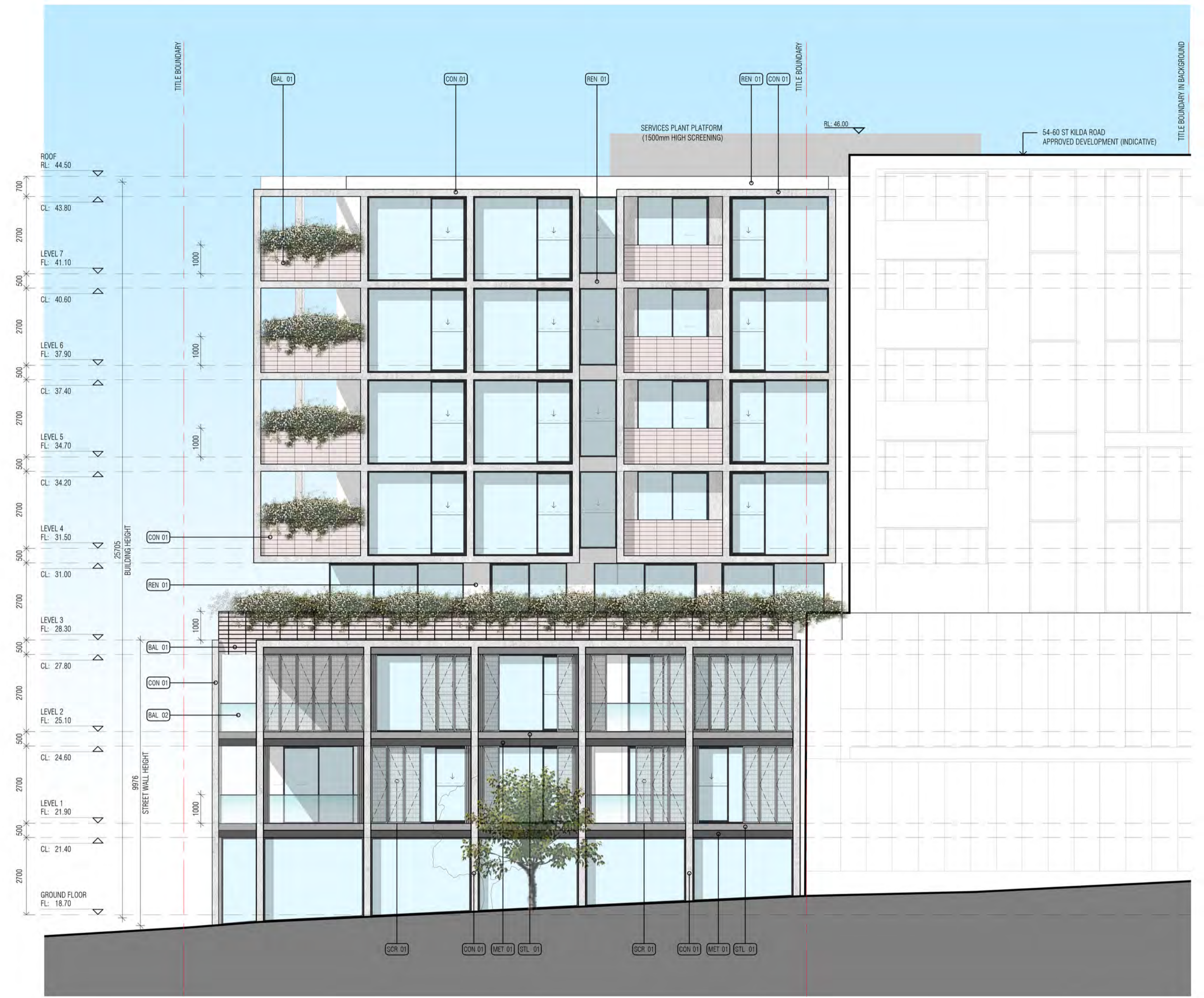
City of Port Phillip Advertised Plan 28 of 34

EXTERNAL FINISHES LEGEND:
REFER TO FINISHES SPECIFICATION FOR FURTHER PRODUCT DETAILS

BAL 01	TERRACOTTA CLADDING (COLOUR: LIGHT GREY)
BAL 02	GLASS BALUSTRADE
CON 01	CONCRETE (COLOUR: LIGHT GREY)
MET 01	METAL CLADDING (COLOUR: GREY)
REN 01	RENDER (COLOUR: WHITE)
STL 01	FEATURE METAL DETAILING (COLOUR: GREY)
SCR 01	BIFOLD METAL SCREENING (COLOUR: GREY)
SCR 02	HORIZONTAL LOUVERS SCREENING (MAX 25% OPENING)



1 EAST ELEVATION



2 WEST ELEVATION

EWERT LEAF

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REV	DATE	DESCRIPTION	CHECKED	REV	DATE	DESCRIPTION	CHECKED
A	11.04.2019	ISSUE FOR TOWN PLANNING	CT				
B	10.01.2020	ISSUE FOR RFI					

PROJECT
46-52 ST KILDA ROAD
46-52 ST KILDA ROAD
ST KILDA
VIC 3182

TOWN PLANNING DRAWINGS

DRAWING TITLE
EAST & WEST ELEVATION

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DRAWN: AZ

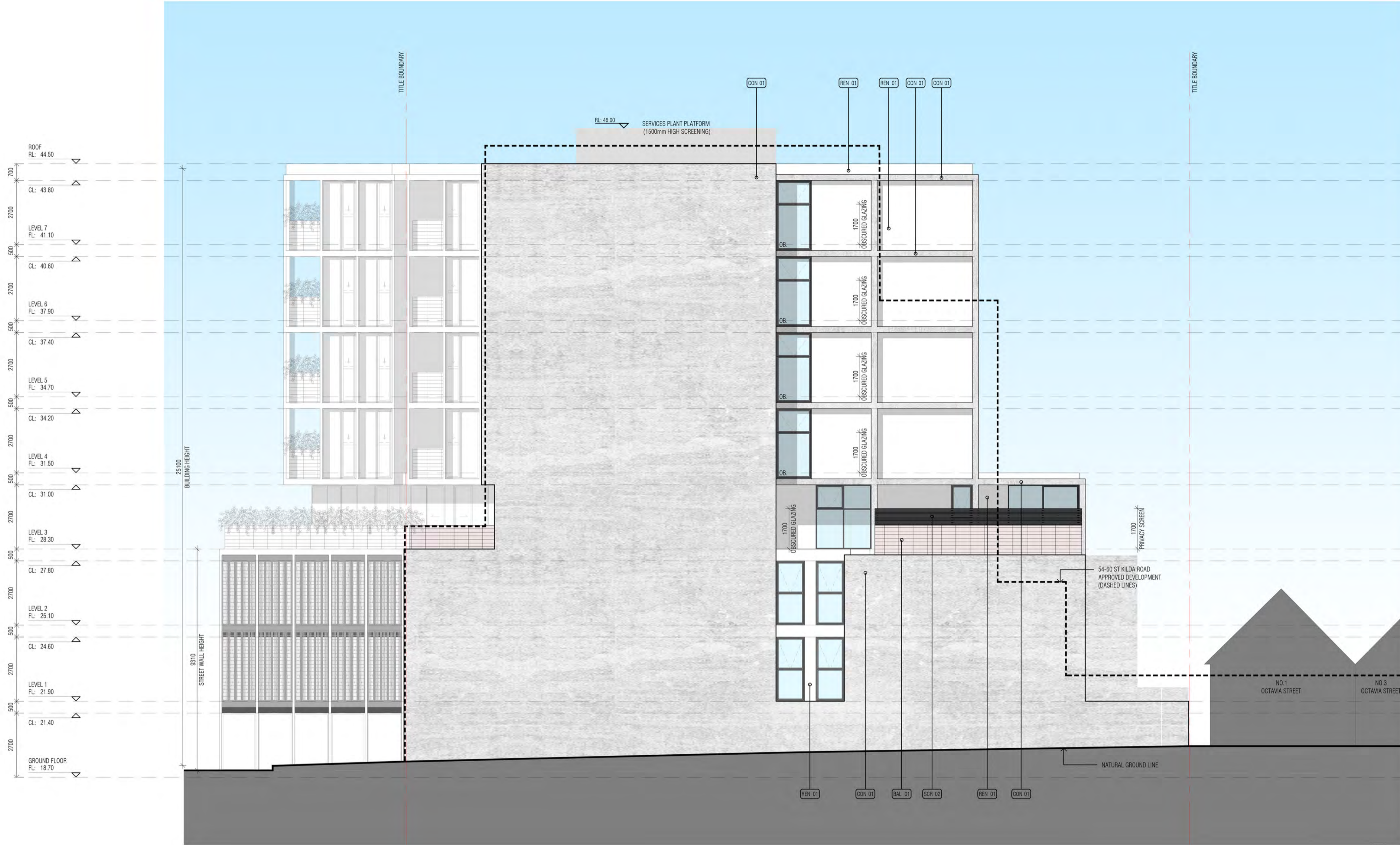
DATE: APRIL 2019
PROJECT NO:
18121
DRAWING NO:
TP-401B

PRELIMINARY

City of Port Phillip Advertised Plan 29 of 34

EXTERNAL FINISHES LEGEND:
REFER TO FINISHES SPECIFICATION FOR FURTHER PRODUCT DETAILS

BAL 01	TERRACOTTA CLADDING (COLOUR: LIGHT GREY)
BAL 02	GLASS BALUSTRADE
CON 01	CONCRETE (COLOUR: LIGHT GREY)
MET 01	METAL CLADDING (COLOUR: GREY)
REN 01	RENDER (COLOUR: WHITE)
STL 01	FEATURE METAL DETAILING (COLOUR: GREY)
SCR 01	BIFOLD METAL SCREENING (COLOUR: GREY)
SCR 02	HORIZONTAL LOUVERS SCREENING (MAX 25% OPENING)



1 SOUTH ELEVATION

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A	11.04.2019	ISSUE FOR TOWN PLANNING	CT				
B	10.01.2020	ISSUE FOR RFI					

PROJECT
46-52 ST KILDA ROAD
46-52 ST KILDA ROAD
ST KILDA
VIC 3182

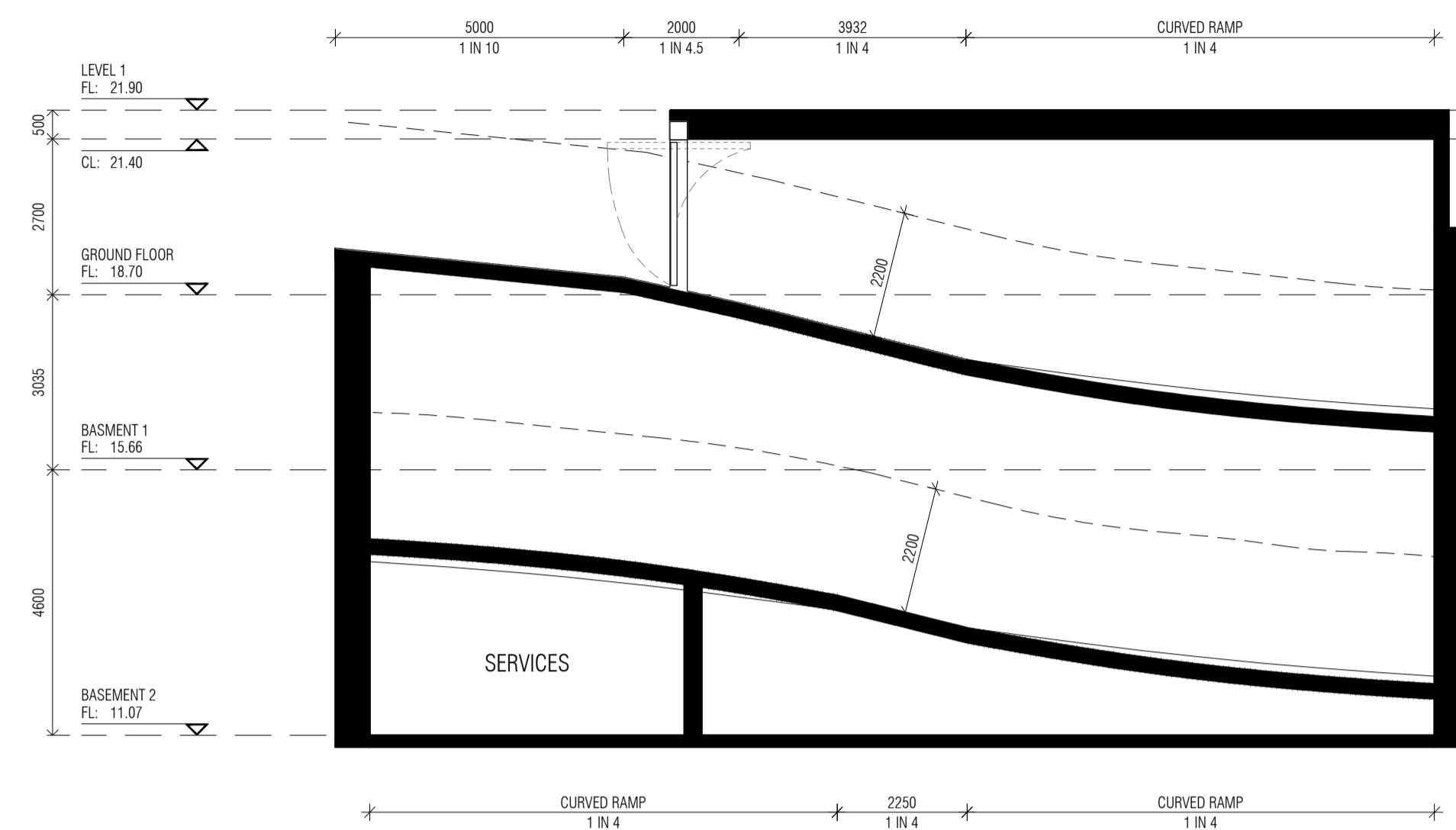
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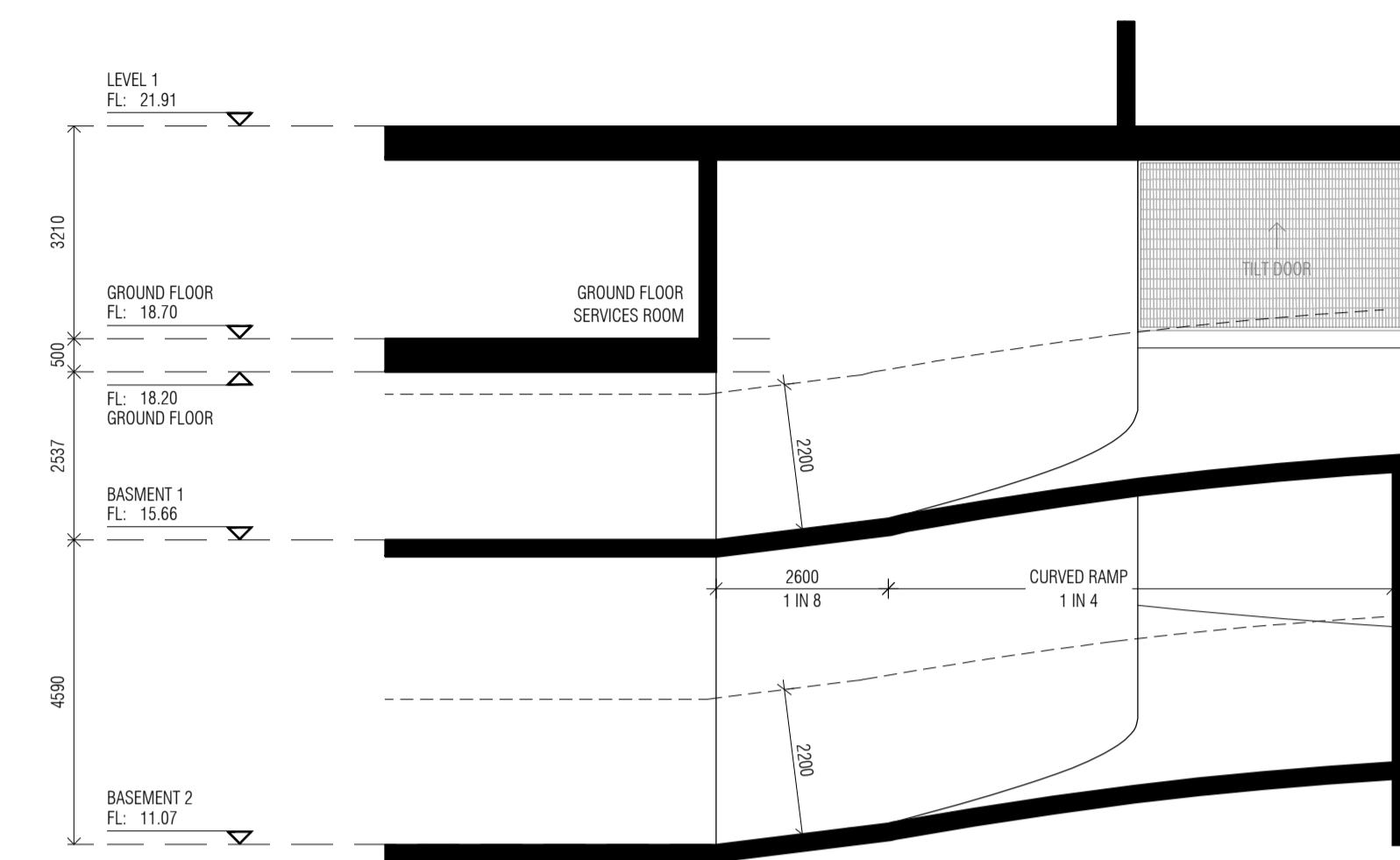
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DRAWING ISSUE
PRELIMINARY

DATE: APRIL 2019
PROJECT NO:
18121
DRAWING No
TP-402B

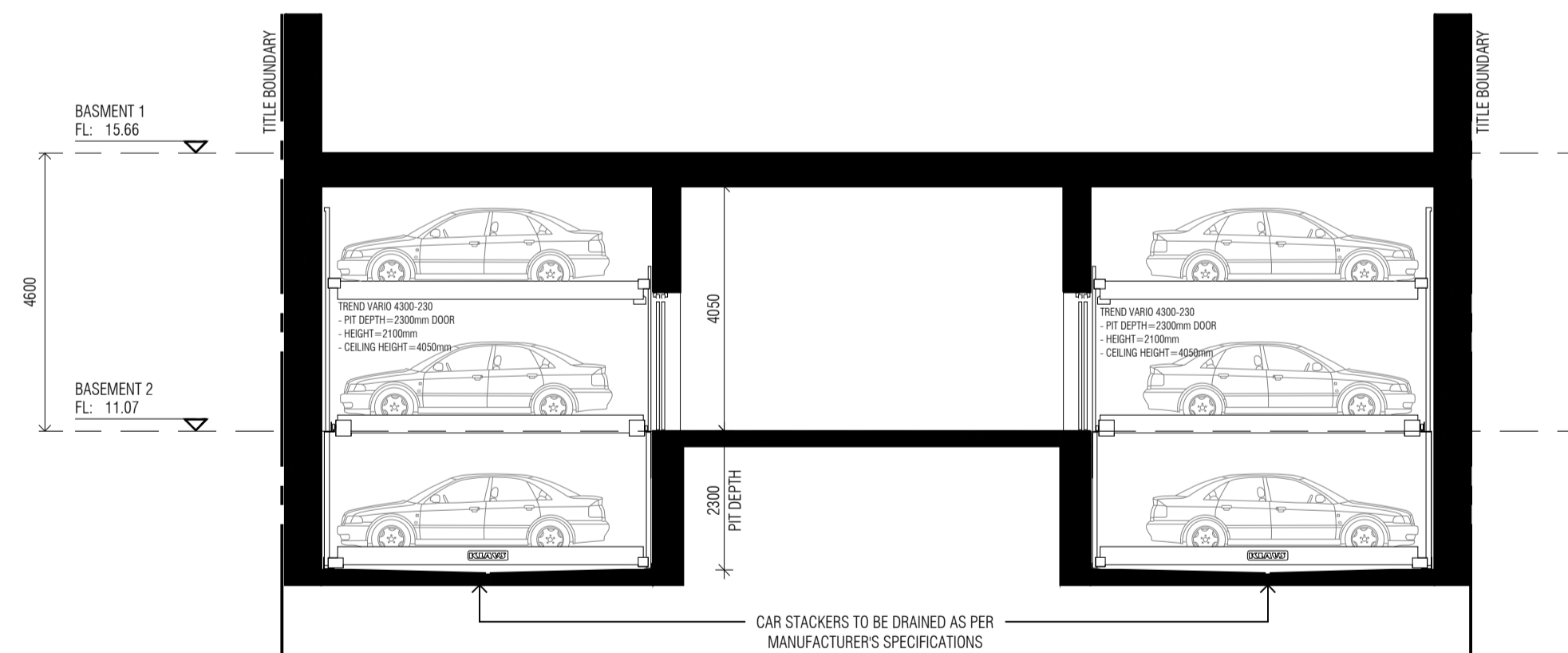
City of Port Phillip Advertised Plan 30 of 34



1 SECTION
RAMP



2 SECTION
RAMP



3 SECTION
CAR STACKER

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REV	DATE	DESCRIPTION	CHECKED	REV	DATE	DESCRIPTION	CHECKED
A	11.04.2019	ISSUE FOR TOWN PLANNING	CT				
B	10.01.2020	ISSUE FOR RFI					

PROJECT
46-52 ST KILDA ROAD
ST KILDA
VIC 3182

TOWN PLANNING DRAWINGS

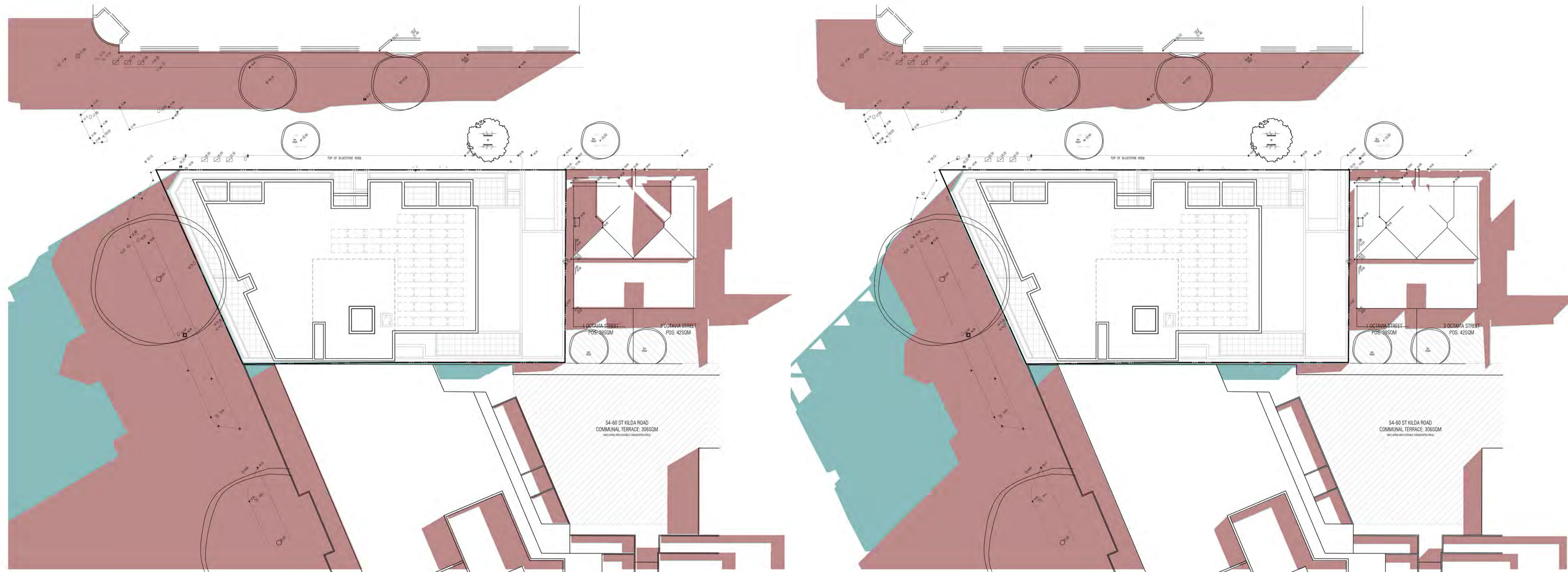
SECTIONS _ RAMP & CAR STACKER

SCALE: 1:100 DATE: APRIL 2019
PAGE: A1 PROJECT NO: 18121
DRAWN: AZ
PRELIMINARY DRAWING No: TP-500B REV

**City of Port Phillip
Advertised Plan 31 of 34**

LEGEND

- EXISTING SHADOW
- ADDITIONAL SHADOW



SHADOW DIAGRAM - 9 AM, 22 SEPTEMBER

SHADOW ANALYSIS					
PROPERTY	EXISTING POS AREA (m ²)	EXISTING SHADOW (m ²)	PROPOSED SHADOW (m ²)	PROPOSED UNSHADOWED POS AREA (m ²)	PROPOSED UNSHADOWED POS AREA (%)
1 OCTAVIA ROAD	39	14	14	25	65
3 OCTAVIA ROAD	42	19	19	24	56
54-60 ST KILDA ROAD (1 ST FLOOR COMMUNAL SPACE)	306	27	24	281	92

SHADOW DIAGRAM - 10 AM, 22 SEPTEMBER

SHADOW ANALYSIS					
PROPERTY	EXISTING POS AREA (m ²)	EXISTING SHADOW (m ²)	PROPOSED SHADOW (m ²)	PROPOSED UNSHADOWED POS AREA (m ²)	PROPOSED UNSHADOWED POS AREA (%)
1 OCTAVIA ROAD	39	13	16	24	60
3 OCTAVIA ROAD	42	18	18	24	58
54-60 ST KILDA ROAD (1 ST FLOOR COMMUNAL SPACE)	306	18	15	291	95

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A	11.04.19	ISSUE FOR TOWN PLANNING	CT				
B	10.01.20	ISSUE FOR RFI	KV				

PROJECT
46-52 ST KILDA ROAD
46-52 ST KILDA ROAD
ST KILDA
VIC 3182

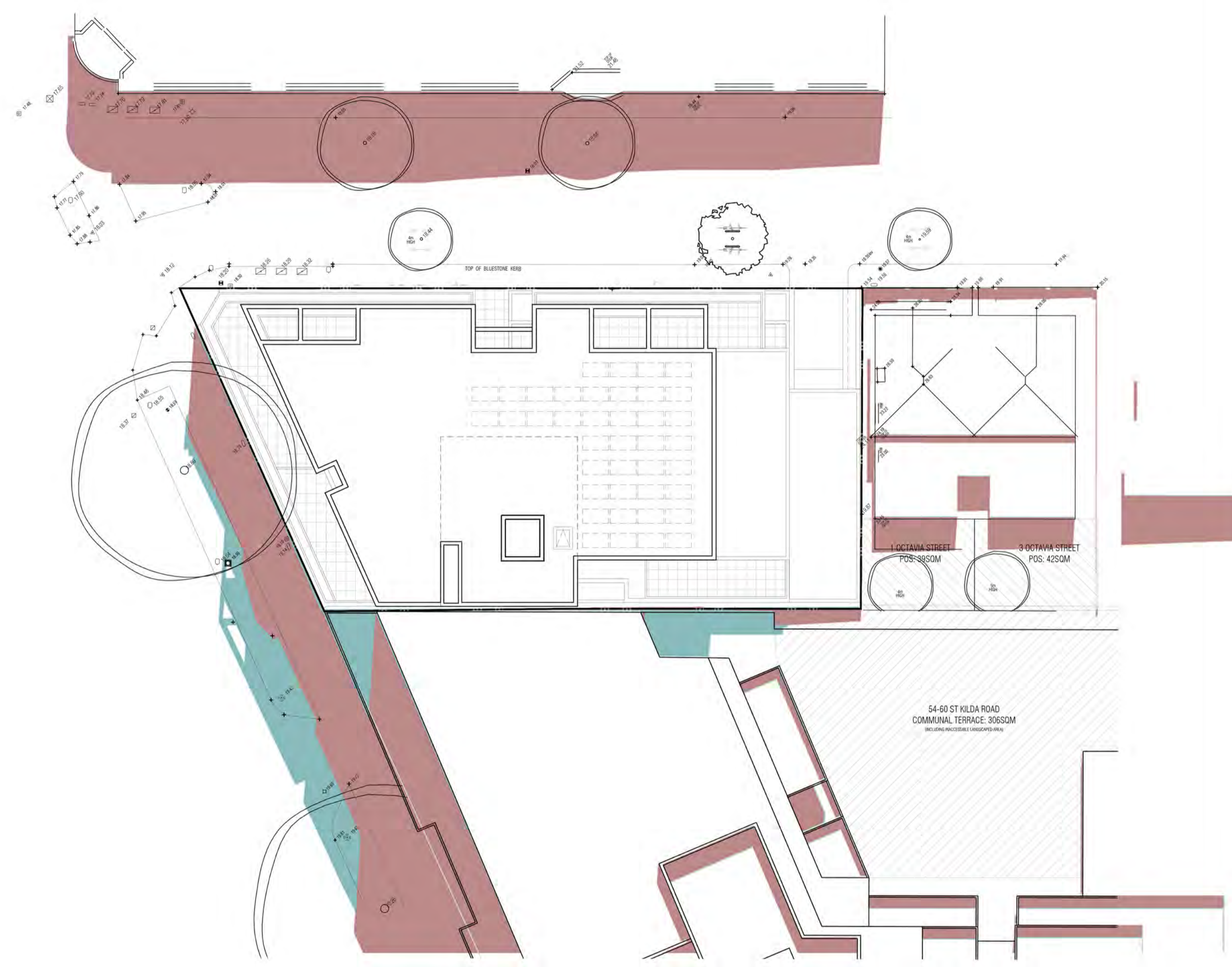
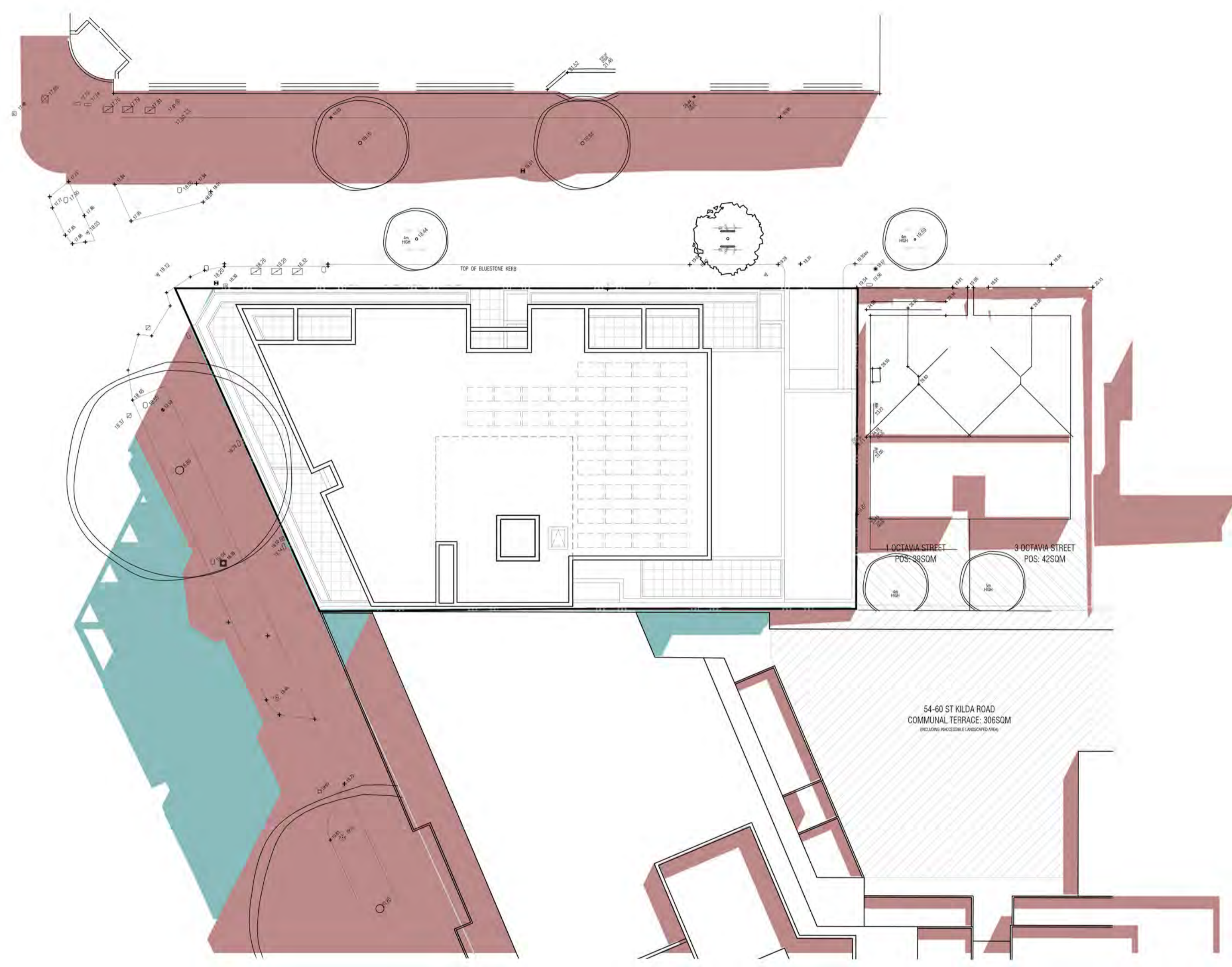
TOWN PLANNING
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SHADOW DIAGRAM 9 & 10 AM @ 22 SEPTEMBER
SCALE: 1:200
PAGE: A1
DRAWN: AZ
DRAWING ISSUE
PRELIMINARY

DATE: APRIL 2019
PROJECT NO:
18121
DRAWING No
TP-900B

**City of Port Phillip
Advertised Plan 32 of 34**

LEGEND

- EXISTING SHADOW
- ADDITIONAL SHADOW



SHADOW DIAGRAM - 11 AM, 22 SEPTEMBER

SHADOW ANALYSIS					
PROPERTY	EXISTING POS AREA (m ²)	EXISTING SHADOW (m ²)	PROPOSED SHADOW (m ²)	PROPOSED UNSHADOWED POS AREA (m ²)	PROPOSED UNSHADOWED POS AREA (%)
1 OCTAVIA ROAD	39	12	12	27	70
3 OCTAVIA ROAD	42	13	13	30	70
54-60 ST KILDA ROAD (1 ST FLOOR COMMUNAL SPACE)	306	11	8	298	97

SHADOW DIAGRAM - 12 PM, 22 SEPTEMBER

SHADOW ANALYSIS					
PROPERTY	EXISTING POS AREA (m ²)	EXISTING SHADOW (m ²)	PROPOSED SHADOW (m ²)	PROPOSED UNSHADOWED POS AREA (m ²)	PROPOSED UNSHADOWED POS AREA (%)
1 OCTAVIA ROAD	39	11	11	28	72
3 OCTAVIA ROAD	42	10	10	32	76
54-60 ST KILDA ROAD (1 ST FLOOR COMMUNAL SPACE)	306	5	3	303	99

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A	11.04.19	ISSUE FOR TOWN PLANNING	CT				
B	10.01.20	ISSUE FOR RFI	KV				

PROJECT
46-52 ST KILDA ROAD
46-52 ST KILDA ROAD
ST KILDA
VIC 3182

TOWN PLANNING

DRAWING TITLE
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PAGE: A1
DRAWN: AZ

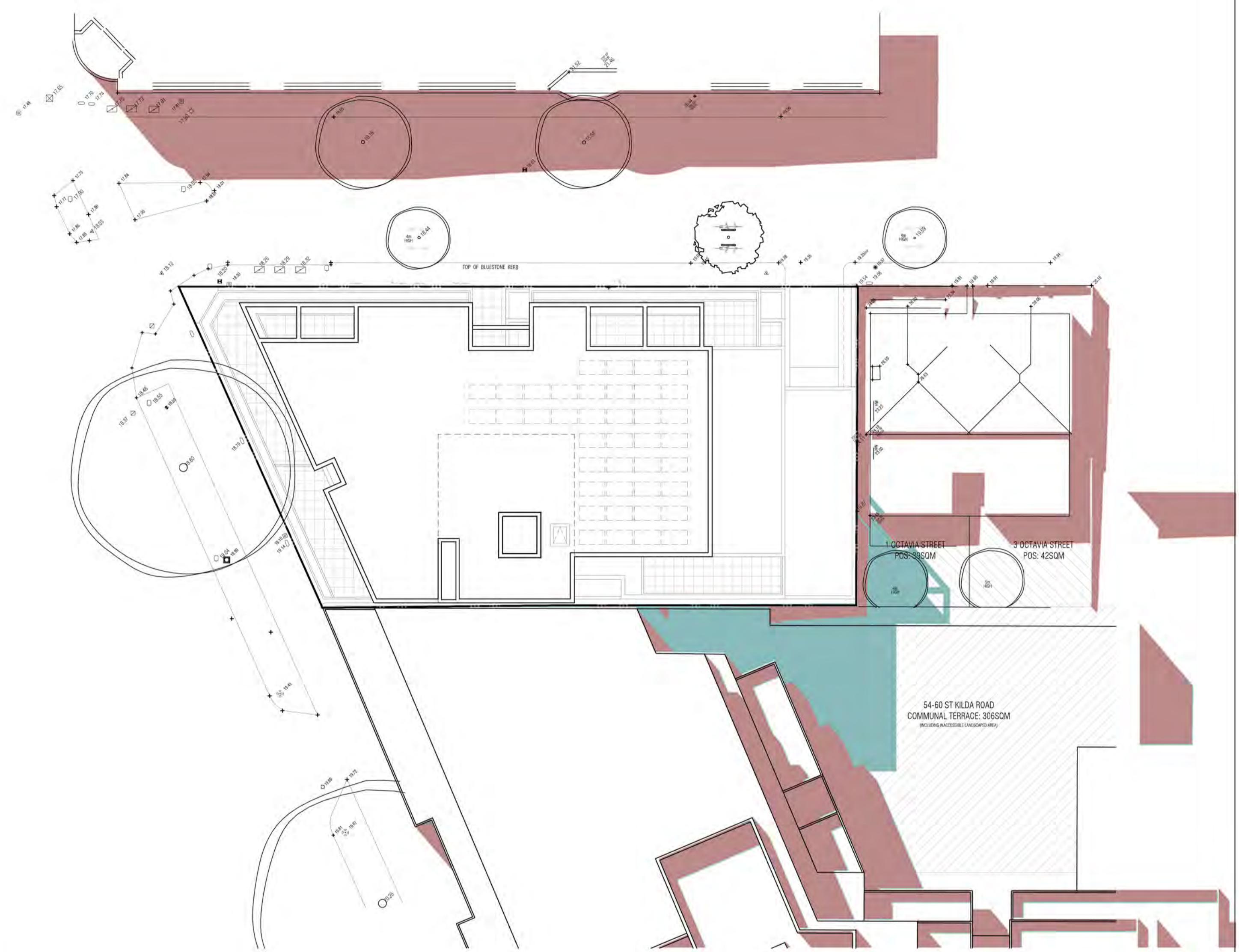
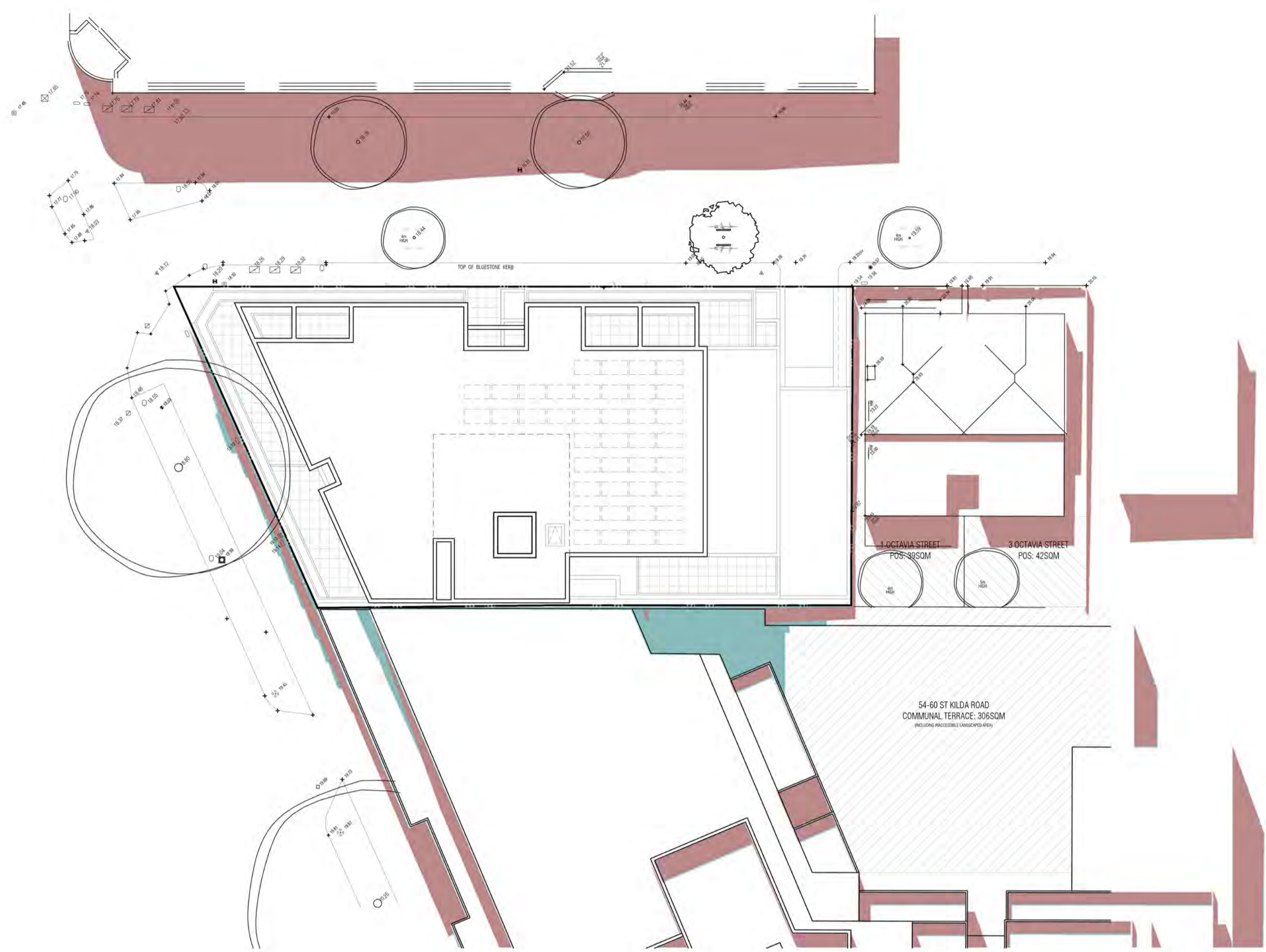
DATE: APRIL 2019
PROJECT NO: 18121
DRAWING NO: TP-901B

PRELIMINARY

**City of Port Phillip
Advertised Plan 33 of 34**

LEGEND

- EXISTING SHADOW
- ADDITIONAL SHADOW



SHADOW DIAGRAM - 1 PM, 22 SEPTEMBER

SHADOW ANALYSIS					
PROPERTY	EXISTING POS AREA (m ²)	EXISTING SHADOW (m ²)	PROPOSED SHADOW (m ²)	PROPOSED UNSHADOWED POS AREA (m ²)	PROPOSED UNSHADOWED POS AREA (%)
1 OCTAVIA ROAD	39	13	12	27	68
3 OCTAVIA ROAD	42	10	10	32	75
54-60 ST KILDA ROAD (1 ST FLOOR COMMUNAL SPACE)	306	5	9	297	97

SHADOW DIAGRAM - 2 PM, 22 SEPTEMBER

SHADOW ANALYSIS					
PROPERTY	EXISTING POS AREA (m ²)	EXISTING SHADOW (m ²)	PROPOSED SHADOW (m ²)	PROPOSED UNSHADOWED POS AREA (m ²)	PROPOSED UNSHADOWED POS AREA (%)
1 OCTAVIA ROAD	39	15	31	8	21
3 OCTAVIA ROAD	42	12	12	31	72
54-60 ST KILDA ROAD (1 ST FLOOR COMMUNAL SPACE)	306	34	92	213	70

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A	11.04.19	ISSUE FOR TOWN PLANNING	CT				
B	10.01.20	ISSUE FOR RFI	KV				

PROJECT
46-52 ST KILDA ROAD
46-52 ST KILDA ROAD
ST KILDA
VIC 3182

TOWN PLANNING

DRAWING TITLE
SHADOW DIAGRAM 1 PM & 2 PM @ 22 SEPTEMBER

SCALE: 1:200
PAGE: A1
DRAWN: AZ

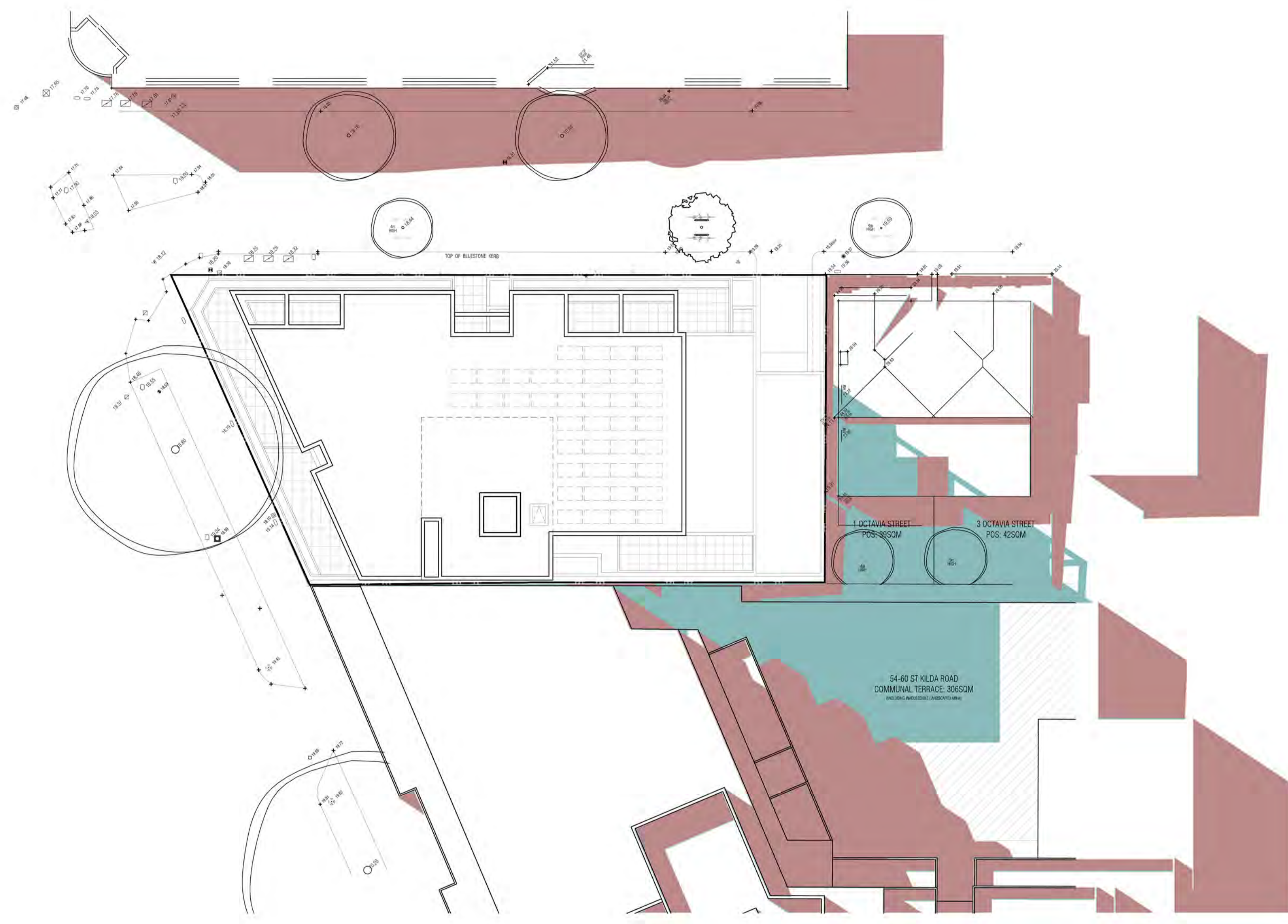
DATE: APRIL 2019
PROJECT NO: 18121
DRAWING NO: TP-902B

PRELIMINARY

**City of Port Phillip
Advertised Plan 34 of 34**

LEGEND

- EXISTING SHADOW
- ADDITIONAL SHADOW



SHADOW DIAGRAM - 3 PM, 22 SEPTEMBER

SHADOW ANALYSIS					
PROPERTY	EXISTING POS AREA (m ²)	EXISTING SHADOW (m ²)	PROPOSED SHADOW (m ²)	PROPOSED UNSHADOWED POS AREA (m ²)	PROPOSED UNSHADOWED POS AREA (%)
1 OCTAVIA ROAD	39	16	39	0	1
3 OCTAVIA ROAD	42	12	41	1	2
54-60 ST KILDA ROAD (1 ST FLOOR COMMUNAL SPACE)	306	78	215	91	30

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PROJECT
46-52 ST KILDA ROAD
46-52 ST KILDA ROAD
ST KILDA
VIC 3182

TOWN PLANNING

DRAWING TITLE
SHADOW DIAGRAM 3 PM @ 22 SEPTEMBER

SCALE: 1:200
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DRAWN: A2
DRAWING ISSUE
PRELIMINARY

DATE: APRIL 2019
PROJECT NO:
18121
DRAWING No:
TP-903B